

GENERAL CONSTRUCTION NOTES

- 1) THESE DRAWINGS DESCRIBE GENERAL REQUIREMENTS FOR WEATHERIZATION DETAILS. REFER TO ORIGINAL STRUCTURAL ENGINEERING DOCUMENTS FOR ANY STRUCTURAL CONCRETE, STEEL OR WOOD FRAMING REQUIREMENTS.
- 2) ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, STANDARDS, AND MANUFACTURER'S INSTRUCTIONS. REPORT ANY DISCREPANCIES TO CONSULTANT.
- 3) CONTRACTOR SHALL VERIFY CONDITIONS ON SITE BEFORE BEGINNING WORK AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- 4) THE CONTRACTOR SHALL BE FAMILIAR W/ THESE DRAWINGS AND DETAILS AND SHALL ENSURE THAT THEIR WORKERS HAVE THE EXPERIENCE, TRAINING AND SKILLS REQUIRED TO EXECUTE THE WORK.
- 5) SUBMIT REQUEST FOR INFORMATION (RFI) TO THE CONSULTANT. SUBMIT ANY CHANGES IN THE CONTRACT VALUE IN THE FORM OF A CHANGE ORDER PROPOSAL TO THE CONSULTANT.
- 6) NOTIFY CONSULTANT OF WORK SCHEDULE AND ACTIVITIES. PROVIDE SPECIAL CONSIDERATION FOR NOISY OPERATIONS, INTERRUPTION OF MECHANICAL AND ELECTRICAL SERVICES. PROTECT LANDSCAPING & FIXTURES.
- 7) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER IMAGES AND ILLUSTRATIONS.
- 8) ALL LUMBER SIZES INDICATED ARE NOMINAL UNLESS DIMENSIONED OR NOTED OTHERWISE.
- 9) EXTERIOR SHEATHING & FRAMING REPAIRS SHALL REQUIRE INSPECTIONS. COORDINATE INSPECTIONS WITH BUILDING OFFICIALS PRIOR TO COVERING.
- 10) DO NOT INSTALL DAMAGED OR DEFECTIVE MATERIAL(S).
- 11) LAP WEATHER RESISTANT BARRIER OVER VERTICAL FLASHING/SAMF A MIN OF 4". UNLESS NOTED OTHERWISE.
- 12) REFER TO MATERIAL DATA SHEETS AND MANUFACTURER'S INSTRUCTIONS BEFORE INSTALLING ANY NEW MATERIALS
- 13) PROVIDE:

A) 2" MIN CLEAR @ ALL CLADDING TO HORIZONTAL HARD SURFACES

B) 6" MIN CLEAR @ ALL FRAMING TO FINISH GRADE
- 14) EXPOSED FASTENERS SHALL BE SEALED OR GASKETED. INSTALL & LOCATE ALL FASTENERS PER SMACNA.
- 15) HEM METAL FLASHING DRIP EDGES. TYPICAL. PROVIDE FULLY SOLDERED JOINTS IN SECTIONS OF FLASHING JOINED TOGETHER AS INDICATED ON DRAWINGS.
- 16) PROVIDE GALVANIC SEPARATION MATERIAL BETWEEN DISSIMILAR METALS.
- 17) NOTIFY THE CONSULTANT OF ANY PREVIOUSLY UNDISCOVERED DAMAGE, DEFICIENCIES OR THREATS THAT COMPROMISE THE FIRE AND/OR LIFE SAFETY OF THE BUILDING OCCUPANTS.
- 18) CONTRACTOR SHALL PROMPTLY REPORT ANY ACCIDENTAL DAMAGE AT NO ADDITIONAL COST TO THE OWNER.
- 19) CONTRACTOR SHALL REMOVE DEBRIS AND TRASH FROM THE SITE IMMEDIATELY. DISPOSE OF LEGALLY. KEEP THE BUILDING AND GROUNDS CLEAN AND FREE OF REFUSE AT ALL TIMES.
- 20) CONTRACTOR SHALL DOCUMENT PRE-EXISTING CONDITIONS FOR REFERENCING DURING NEW CONSTRUCTION.
- 21) CONTRACTOR SHALL NOTIFY THE CONSULTANT OF ANY DISCOVERED MICROBIAL GROWTH DURING THE COURSE OF WORK.
- 22) ALL MATERIALS AND COMPONENTS ARE TO BE NEW UNLESS NOTED OTHERWISE

GENERAL WATERPROOFING NOTES

- 1) ALL FLASHINGS SHALL BE INSTALLED IN SUCH A MANNER SO AS TO PREVENT MOISTURE FROM ENTERING THE WALL OR TO REDIRECT IT TO THE EXTERIOR.
- 2) ALL WALL PENETRATIONS SHALL BE TARGET FLASHED.
- 3) ALL WEATHER RESISTIVE BARRIERS SHALL HAVE POSITIVE LAPPING (SHINGLE STYLE) WHEN INSTALLED. LAPPING AND SEALING OF SEAMS AND JOINTS SHALL BE BY MANUFACTURER'S REQUIREMENTS.
- 4) ALL BUILDING INTERFACES SHALL BE FLASHED TO PREVENT MOISTURE FROM ENTERING THE WALL.
- 5) ALL HORIZONTAL HARD SURFACES SHALL HAVE CODE REQUIRED ADEQUATE SLOPING FOR DRAINAGE.
- 6) AFTER REMOVAL OF DAMAGED MATERIALS, TREAT ADJACENT SURFACES WITH FUNGICIDE AND ANTI-MICROBIAL (BORA-CARE + MOLD CARE) TYPICAL. SURFACES MUST BE DRY BEFORE COVERING. REFER TO SECTION 02 40 00 DEMOLITION MOISTURE DAMAGE

MOCK-UPS AND TESTING

- GENERAL NOTES:
- 1) PRODUCT SUBMITTALS SHALL BE PROVIDED TO J2 FOR REVIEW AND APPROVAL PRIOR TO MOCK-UPS.
- 2) MOCK-UP REVIEW SHALL CONSIST OF A STEP BY STEP INSTALLATION SEQUENCE PERFORMED ON SITE BY PERSONNEL WHO WILL BE PERFORMING THE ACTUAL INSTALLATION.
- 3) CONTACT J2 AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE REQUEST MOCK-UPS OR TESTING.
- 4) WATER TESTING AT WINDOWS AND DOORS SHALL BE PERFORMED PRIOR TO FULL SIDING INSTALLATION. TEMPORARY SIDING IMITATING INSTALLED CONDITIONS SHALL BE UTILIZED.

REQUIRED MOCK-UPS/TESTING:
CONTRACTOR TO CONTACT J2 TO PERFORM AND/OR ARRANGE THE FOLLOWING MOCK-UP OR TESTING. THE LIST BELOW INDICATES THE MINIMUM REQUIREMENTS. OTHER CONDITIONS MAY REQUIRE ADDITIONAL MOCK-UPS OR TESTING AS DETERMINED BY FIELD CONDITIONS.

ASSEMBLY	MOCK-UP/TESTING DESCRIPTIONS	NOTES
ROOF	ROOFING UNDERLAYMENT	
	ROOFING MATERIAL	
	ROOF PENETRATIONS	
	CHIMNEY CAPS	
	ROOF-TO-WALL/DIVERTERS/STEP FLASHING	
WALLS	SIDING PENETRATIONS AND TRANSITIONS	
	WRB INSTALLATION	
	RAINSCREEN INSTALLATION	
	SIDING	ALL TYPES OF SIDING TO BE MOCKED UP
	SEALANT PULL TESTS	ASTM C1521 - SEE SPECS
FENESTRATIONS	WINDOW INSTALLATION	
	SWING DOOR INSTALLATION	
	WINDOW TESTING	3 WINDOWS; ASTM E1105 - SEE SPECS
	SEALANT PULL TESTS	ASTM C1521 - SEE SPECS
DECKS/WALKWAYS	DECK LEDGERS	
	SUBSTRATE PREPARATION	
	FLASHINGS	
	DRAINS, DIVERTERS, CRICKETS	
	DECK PENETRATIONS	
	DOOR THRESHOLD HEIGHTS	
	GUARDRAILS	
	WATERPROOF COATING ADHESION TESTS	PER MANUFACTURER

PROJECT DESCRIPTION

GENERAL SCOPE:

REMOVE AND REPLACE SIDING, WINDOWS GUARDRAILS AND DECKING.

REMOVE AND REPLACE DAMAGED STRUCTURAL MEMBERS AT WALKWAYS AND DECKS.

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W4.3	WEATHERIZATION DETAILS - DECKS

GENERAL NOTES

SITE ADDRESS:	1238 N MARION AVE GEARHART, OR 97138
YEAR BUILT:	1967
NO. OF BUILDINGS:	2, 1 RESIDENTIAL AND 1 CLUBHOUSE/POOL HOUSE
NO. OF UNITS:	27
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	V-1HR (ASSUMED)

CODES:

NOT ALL CODES MAY BE APPLICABLE:
2021 INTERNATIONAL BUILDING CODE (IBC)
2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)
2021 UNIFORM PLUMBING CODE (UPC)
2021 INTERNATIONAL MECHANICAL CODE (IMC)
2021 INTERNATIONAL FUEL GAS CODE (IFGC)
2021 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
(2021 IBC W/ OREGON AMENDMENTS)
CODES TO ADHERE TO OREGON STATE AMENDMENTS

PROJECT TEAM

OWNER:	PACIFIC VIEW CONDOMINIUMS c/o: PAUL TICE 1238 N MARION AVE GEARHART, OR 97138
CONTRACTOR:	TBD
CONSULTANT:	J2 BUILDING CONSULTANTS, INC 4504 S CORBETT AVE, STE 100 PORTLAND, OR. 97239

DEFERRED SUBMITTALS

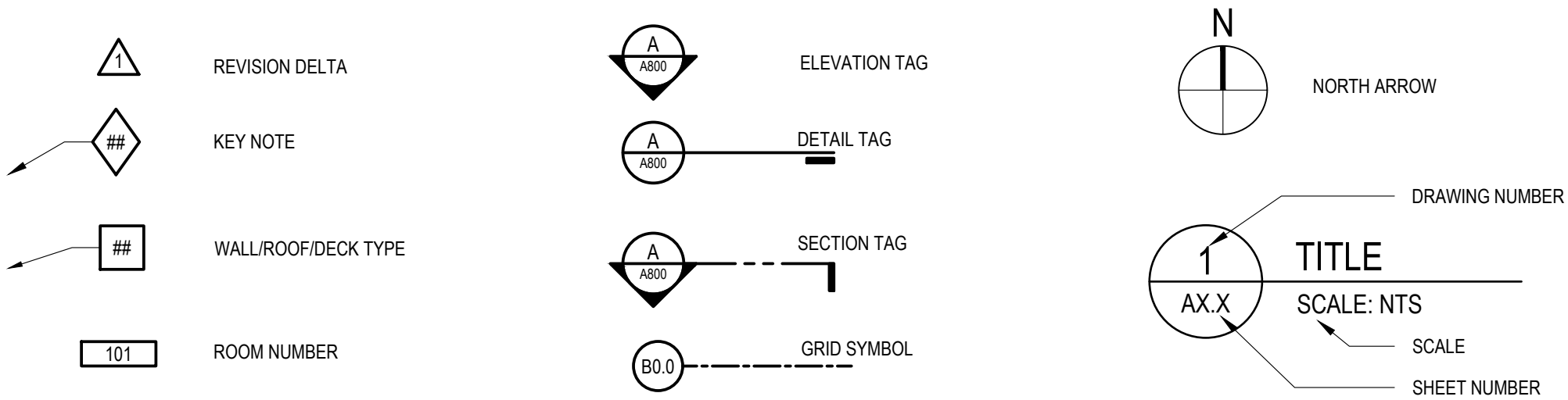
1. **METAL GUARD RAIL:** PROVIDE SHOP DRAWINGS & ENGINEERING TO J2 AND THE LOCAL JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO FABRICATION



1 SITE VICINITY MAP
A0.1 SCALE: NTS

TYPICAL ARCHITECTURAL SYMBOLS

SYMBOLS INDICATED MAY OR MAY NOT BE IN USE WITHIN THIS GIVEN PROJECT



TYPICAL ARCHITECTURAL ABBREVIATIONS

ABBREVIATIONS INDICATED MAY OR MAY NOT BE IN USE WITHIN THIS GIVEN PROJECT

@	= AT	GA	= GAUGE	RD	= ROOF DRAIN
AFF	= ABOVE FINISHED FLOOR	GALV	= GALVANIZED	REQD	= REQUIRED
ALUM	= ALUMINUM	GWLB	= GYPSUM WALL BOARD	RO	= ROUGH OPENING
APPROX	= APPROXIMATE	IBC	= INTERNATIONAL BUILDING CODE	SAF	= SELF ADHERED FLASHING
BLDG	= BUILDING	IEBC	= INTERNATIONAL EXISTING BUILDING CODE	SGD	= SLIDING GLASS DOOR
CL	= CENTER LINE	INSUL	= INSULATION	SIM	= SIMILAR
CONC	= CONCRETE	INT	= INTERIOR	SPEC	= SPECIFICATION
CONST	= CONSTRUCTION	IRC	= INTERNATIONAL RESIDENTIAL CODE	SF	= SQUARE FEET
CONT	= CONTINUOUS	MAX	= MAXIMUM	SS	= STAINLESS STEEL
DIA	= DIAMETER	MIN	= MINIMUM	STRUCT	= STRUCTURAL
DIM	= DIMENSION	MIR	= MIRROR	TYP	= TYPICAL
DOCS	= DOCUMENTS	MTL	= METAL	UNO	= UNLESS OTHERWISE NOTED
DS	= DOWNSPOUT	MFR	= MANUFACTURER	VIF	= VERIFY IN FIELD
DWG	= DRAWING	NTS	= NOT TO SCALE	W/	= WITH
EA	= EACH	OC	= ON CENTER	W/O	= WITHOUT
EX	= EXISTING	PT	= PRESERVATIVE TREATED	WRB	=WATER RESISTIVE BARRIER
EXT	= EXTERIOR				

PRELIMINARY
NOT FOR
CONSTRUCTION

- NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF SIZING AND QUANTITIES OF ALL COMPONENTS.
2. MOCK UP REVIEW OF ALL EXTERIOR ASSEMBLIES REQUIRED BEFORE INSTALLATION.
3. DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT TO BE USED FOR TAKE OFF QUANTITIES.
4. THESE PLANS WERE PREPARED BASED ON THE INFORMATION AVAILABLE AT THE TIME OF THEIR PREPARATION. BUILDING REMEDIATION PROJECTS OFTEN REQUIRE DESIGN INTERPRETATIONS AND REVISIONS TO ACCOUNT FOR ACTUAL FIELD CONDITIONS. THEREFORE, FOR THAT PURPOSE, J2 SHALL BE RETAINED DURING CONSTRUCTION. IF J2 IS NOT RETAINED TO PERFORM THESE SERVICES, THESE PLANS SHALL NOT BE RELIED UPON OR USED FOR ANY PURPOSE WITHOUT WRITTEN APPROVAL FROM J2.

Revisions:		
	Date	Description

Project Title:
PACIFIC VIEW CONDOMINIUMS
BUILDING ENVELOPE

Sheet Title:
PROJECT SUMMARY & GENERAL NOTES

Scale: As Noted

BID SET	
Drawn By:	MEB/JMM
Checked By:	REPI/KJ
Issue Date:	Sheet Number:
11/22/2023	A0.1
Job #: 5631001	

SCOPE OF WORK AND COMPONENT REPLACEMENT SCHEDULE - PACIFIC VIEW							
ASSEMBLY	KEYNOTE	CATEGORY	BUILDING ELEMENT	DESCRIPTION OF WORK	REPLACEMENT MATERIAL	SPECIFICATION SECTION	APPLICABLE DETAILS
ROOFS	R1	BASE SCOPE	ROOF DEMOLITION	CONTRACTOR IS RESPONSIBLE FOR TESTING FOR HAZARDOUS MATERIALS PRIOR TO MOBILIZATION. REMOVE AND LEGALLY DISPOSE OF ALL ROOFING, FLASHING, INSULATION, COVERBOARDS, ACCESSORIES AND OTHER MATERIALS ABOVE THE EXISTING SUBSTRATE.	NA	02 40 00 DEMOLITION AND MOISTURE CONTROL	NA
	R2	ALLOWANCE # 1	2 X 6 T&G DECKING	REMOVE AND REPLACE DAMAGED 2 X 6 T&G DECKING PRIOR TO INSTALLING NEW ROOFING MATERIAL.	PER SPECS	06 10 00 ROUGH CARPENTRY	50.1 NOTES
	R3	ALLOWANCE # 2	FRAMING REPAIRS	REPLACE DAMAGED ROOF FRAMING. CONTACT J2 FOR AREAS OF SIGNIFICANT DAMAGE.	PER SPECS	06 10 00 ROUGH CARPENTRY	50.1
	R4	BASE SCOPE	GENERAL ROOFING: LOW SLOPE	REMOVE EXISTING PVC SINGLE PLY ROOFING, ROOFING ACCESSORIES, UNDERLAYMENT AND FLASHING AND INSTALL NEW ROOFING UNDERLAYMENT, R-30 INSULATION FULLY ADHERED, COVERBOARD, AND 60-MILL FULLY ADHERED EPDM ROOFING, FLASHING AND ACCESSORIES.	PER SPECS, MEMBRANE AND INSULATION TO BE FULLY ADHERED	07 53 23 EPDM ROOFING	2/W1.1, 3/W1.1, 4/W1.1, 5/W1.1, 6/W1.1, 8/W1.1, 1/W1.2, 2/W1.2, 3/W1.2, 4/W1.2, 5/W1.2, 6/W1.2, 7/W1.2
	R5	BASE SCOPE	GENERAL ROOFING: LONG VALLEYS	REMOVE AND REPLACE MEMBRANE ROOFING, COVERBOARD, FLASHINGS AND TAPERED INSULATION. INSTALL NEW UNDERLAYMENT, FULLY ADHERED TAPERED INSULATION TO SLOPE BOTH DIRECTIONS 1/2":1'-0" MIN., COVERBOARD AND FULLY ADHERED EPDM ROOFING MEMBRANE.	PER SPECS, MEMBRANE AND INSULATION TO BE FULLY ADHERED	07 53 23 EPDM ROOFING	2/W1.1
	R6	ALTERNATE	ROOFING	PROVIDE ALTERNATE FOR A BUR ROOF SYSTEM IN LIEU OF EPDM.	PER SPECS	07 52 00 SBS MEMBRANE ROOFING	NA
	R7	BASE SCOPE	GUTTERS AND DOWNSPOUTS	REPLACE EXISTING GUTTERS AND DOWNSPOUTS. INSTALL NEW GUTTER AND DOWNSPOUT AT ELEVATOR ROOF TO LOWER ROOF.	PREFINISHED 24 GA 6" A STYLE GUTTERS	07 62 00 SHEET METAL FLASHING AT TRIM	3/W1.2, 6/W1.2
	R8	BASE SCOPE	PERIMETER EDGE	INSTALL NEW PERIMETER EDGE WOOD BLOCKING TO ACCOMMODATE FOR THE NEW INSULATION THICKNESS. INSTALL A NEW STAINLESS STEEL SHEET METAL PERIMETER EDGE METAL FLASHINGS.	PER SPECS	06 10 00 ROUGH CARPENTRY; 07 62 00 SHEET METAL FLASHING AT TRIM	4/W1.1, 5/W1.1, 6/W1.1, 7/W1.1, 2/W1.2, 3/W1.2, 4/W1.2, 6/W1.2, 7/W1.2
	R9	BASE SCOPE	ROOF FASCIA	REMOVE AND REPLACE ROOF FASCIA/BARGE BOARDS TO ACCOMMODATE THICKER ROOF ASSEMBLY.	5/4 FIBER CEMENT TRIM	07 46 46 FIBER CEMENT SIDING	4/W1.1, 5/W1.1, 6/W1.1, 4/W1.2, 6/W1.2, 7/W1.2
	R10	BASE SCOPE	DRAINS	INSTALL NEW DRAIN INSERTS TO EXTEND THROUGH THE ENTIRE ROOF ASSEMBLY THAT HAVE METAL CLAMPING RING AND STRAINER TO PROPERLY DISPOSE WATER TO DOWNSPOUT.	HOLCIUM ROOF DRAIN INSERT WITH OVERFLOW ROOF DRAIN AT INTEGRATED GUTTERS ZURN Z125 AT EAST ELEVATION DRAINS OR CONSULTANT APPROVED EQUAL	07 72 00 ROOF ACCESSORIES	5/W1.1, 8/W1.1
	R11	BASE SCOPE	ROOF PENETRATIONS	INSTALL NEW EPDM PIPE BOOTS, EXHAUST HOODS AND OTHER ROOF ACCESSORIES.	PER SPECS	07 53 23 EPDM ROOFING	3/W1.1, 5/W1.2
	R12	NA	INTERIOR VENTILATION	ALL INTERIOR VENTILATION MEASURES ARE BEYOND J2'S SCOPE OF WORK. NOTE THAT PROPERLY FUNCTIONING MECHANICAL OR NATURAL VENTILATION IS NECESSARY FOR THE BUILDING ENVELOPE TO FUNCTION AS DESIGNED.	NA	NA	NA
	R13	ALLOWANCE #3	FALL PROTECTION	INSTALL NEW PERMANENT "CONTRACTOR DESIGN-BUILD" FALL PROTECTION TO BE USED FOR CONSTRUCTION AND FUTURE MAINTENANCE.	NA	NA	NA
	R14	BASE SCOPE	ROOF HATCH	EXISTING ROOF HATCH TO BE REUSED. INTEGRATE WITH NEW UNDERLAYMENT, INSULATION AND ROOFING MEMBRANE.	REUSE EXISTING	NA	1/W1.2
	R15	BASE SCOPE	CHIMNEY	ENSURE ADEQUATE WOOD FRAMED CRICKETS BEHIND ALL CHIMNEYS SO THAT WATER IS NOT DIRECTED INTO CHIMNEY CHASE. INSTALL ROOFING 8" UP BASE OF CHIMNEY AND INSTALL NEW 316 STAINLESS STEEL COUNTERFLASHING OVER ROOF MEMBRANE.	PER SPECS	06 10 00 ROUGH CARPENTRY; 07 53 23 EPDM ROOFING; 07 62 00 SHEET METAL FLASHING AND TRIM	2/W1.1, 7/W1.1
	R16	BASE SCOPE	CHIMNEY CAPS	INSTALL NEW STAINLESS STEEL CHIMNEY CAP FLASHING AT TOP OF CHIMNEY CHASES, AS NEEDED. PROVIDE ADEQUATE SLOPE TO DRAIN (TO PREVENT PONDING) AND PROPERLY LAP OVER CLADDING BELOW. PROVIDE PROPER WEATHER SEAL AT STORM COLLARS/PENETRATIONS.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	1/W1.1
	R17	BASE SCOPE	ROOF BEAMS	CUT BACK ROOF BEAMS PERPENDICULAR TO BUILDING FACE LEVEL WITH EXTERIOR RIM BEAM OF ROOF. INSTALL NEW STAINLESS STEEL CAP AT ALL LOCATIONS	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	8/W1.2

ATTICS	A1	BASE SCOPE	HVAC EXHUAUST DUCTS	CONNECT ALL EXISTING HVAC DUCTS TO NEW STEM VENTS. PROPERLY SECURE DUCTS TO FRAMING, ENSURE ALL SEAMS ARE SEALED WITH FOIL-FACED BUTYL TAPE AND INSULATE WITH R-6 UNFACED INSULATION.	PER SPECS	07 21 00 THERMAL INSULATION	NA
	A2	BASE SCOPE	INSULATION	INSULATE THE GABLE WALL AT NON-VAULTED ATTIC SPACES TO PROVIDE A CONTINUOUS THERMAL BOUNDARY BETWEEN THE ROOF AND WALLS. NO INSULATION IN THE CEILING OF THE ATTIC AS THIS WILL BE A SEMI-CONDITIONED SPACE. INSTALL NEW BATT INSULATION AT ATTIC CAVITY AT EAVES ON EACH END UNIT OF THE BUILDING.	PER SPECS	07 21 00 THERMAL INSULATION	
	A3	ALLOWANCE #4	FRAMING/FIREWALL REPAIRS	PROVIDE ALLOWANCE TO MAKE FIRE WALL AND/OR FRAMING REPAIRS.	NA	NA	NA
	A4	ALLOWANCE #5	ORGANIC GROWTH REMEDATION	PROVIDE REMEDIATION OF ANY VISIBLE ORGANIC GROWTH IN THE ATTIC ON THE ROOF SHEATHING AND FRAMING. REMOVAL PROCEDURE TO BE DETERMINED/DESIGNED BY CONTRACTOR AND APPROVED BY OWNER AND CONSULTANT. ALLOW FOR A PERCENTAGE OF BOTTOM SIDE OF THE ROOF SHEATHING.	NA	02 40 00 DEMOLITION AND MOISTURE CONTROL	NA
FENESTRATIONS (WINDOWS AND DOORS)	F1	BASE SCOPE	WINDOWS, SGD'S (SLIDING GLASS DOORS)	REMOVE AND REPLACE ALL WINDOWS AND SLIDING GLASS DOORS WITH PROPERLY RATED WINDOWS AND DOORS. ENSURE EGRESS OPENINGS ARE ADEQUATE. ENSURE SAFETY GLAZING AT HAZARDOUS LOCATIONS, AND ENSURE GUARDS/LIMITERS ARE INSTALLED IF APPLICABLE. MODIFY INTERIOR TRIM/SURROUNDS AS NEEDED TO ACCOMMODATE REQUIRED DETAILING.	PER SPECS. MATCH EXISTING SIZE AND OPERATION PROVIDED THAT EGRESS REQUIREMENTS ARE MET. WINDOWS & SGD TO HAVE PERFORMANCE GRADE RATING OF PG45. FRAME COLOR: WHITE	08 53 13 VINYL WINDOWS AND DOORS	SHEET W2.1
	F2	ALTERNATE #1	WINDOWS, SGD'S (SLIDING GLASS DOORS)	PROVIDE UNIT PRICE TO REMOVE AND REINSTALL EXISTING WINDOWS AND SLIDING GLASS DOORS INSTEAD OF REPLACING. (THIS ALTERNATE WOULD REQUIRE VERIFYING THAT THE EXISTING WINDOWS/SDG'S MEET THE PERFORMANCE REQUIREMENTS FOR NEW WINDOWS/SGD'S.)	REUSE EXISTING	NA	SHEET W2.1
	F3	BASE SCOPE	WINDOW & SGD HEAD FLASHING	INSTALL STAINLESS STEEL METAL THROUGH-WALL FLASHING ABOVE WINDOW FRAME AT HEAD. INSTALL ADDITIONAL METAL HEAD FLASHING AT PROJECTING TRIM AT WINDOW HEAD WHERE APPLICABLE. LEAVE 3/8" DRAINAGE GAP BETWEEN FLASHING AND TRIM TO ALLOW FOR WATER EGRESS.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	1/W2.2, 8/W2.3, 1/W2.5, 4/W2.6
	F4	BASE SCOPE	WINDOW AND SGD TRIM	INSTALL NEW TRIM AT WINDOWS AND SLIDING GLASS DOORS. LEAVE 3/8" GAP BETWEEN TRIM AND FRAME AND INSTALL BACKER ROD AND PROPERLY TOOLED SEALANT JOINT.	5/4 X 4 FIBER CEMENT TRIM, RUSTIC TEXTURE	07 46 46 FIBER CEMENT SIDING; 07 92 00 JOINT SEALANT	2/W2.2, 3/W2.2, 3/W2.3, 9/W2.3, 1/W2.4 2/W2.4, 2/W2.5, 6/W2.5, 3/W2.6, 5/W2.6, 6/W2.6
	F5	BASE SCOPE	SGD SILL	INSTALL ALL SLIDING GLASS DOORS IN STAINLESS STEEL METAL PANS INTEGRATED WITH DECK SYSTEM AND BASE OF WALL FLASHING PER DETAILS.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	2/W2.3, 3/W2.3, 6/W2.3, 7/W2.3, 2/W2.6, 3/W2.6, 4/W2.6
	F6	BASE SCOPE	SWING DOORS	REMOVE AND REPLACE ALL EXTERIOR SWING DOORS.	THERMATRU SMOOTH STAR S100 OR EQUAL	08 61 00 EXTERIOR DOORS	NA
	F7	BASE SCOPE	STORM DOORS	REMOVE AND REINSTALL ALL EXTERIOR STORM DOORS.	REUSE EXISTING	NA	NA
	F8	ALTERNATE #2	SWING DOORS	PROVIDE UNIT COST TO REMOVE AND REINSTALL SWING DOORS INSTEAD OF REPLACING.	REUSE EXISTING	NA	NA
	F9	BASE SCOPE	SWING DOOR HEAD FLASHING	INSTALL STAINLESS STEEL METAL THROUGH-WALL FLASHING ABOVE DOOR HEAD TRIM. LEAVE 3/8" DRAINAGE GAP BETWEEN FLASHING AND TRIM TO ALLOW FOR WATER EGRESS.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	4/W2.2, 4/W2.5
	F10	BASE SCOPE	SWING DOOR TRIM	INSTALL NEW TRIM AROUND DOOR FRAME AND SEAL TO FRAME WITH FILLET JOINT. SEAL TO CLADDING AT JAMBS WITH APPROPRIATE SEALANT JOINT.	5/4 X 4 FIBER CEMENT TRIM, RUSTIC TEXTURE	07 46 46 FIBER CEMENT SIDING; 07 92 00 JOINT SEALANT	5/W2.2, 1/W2.3, 5/W2.5, 1/W2.6
	F11	BASE SCOPE	SWING DOOR SILL	INSTALL ALL EXTERIOR SWING DOORS STAINLESS STEEL METAL PANS WITH, BACK DAMS, INTEGRATED WITH DECK SYSTEM AND BASE OF WALL FLASHING PER DETAILS.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	6/W2.2, 7/W2.2, 8/W2.2, 9/W2.2, 1/W2.3, 4/W2.3, 5/W2.3, 6/W2.3, 7/W2.3, 6/W2.5, 7/W2.5, 8/W2.5, 9/W2.5, 1/W2.6
	F12	ALLOWANCE #6	WINDOW TESTING	PROVIDE ALLOWANCE FOR CONTRACTOR SERVICES TO ASSIST J2 AND/OR TESTING AGENCY WITH WINDOW/SGD TESTING. ASSUME TESTING WILL TAKE PLACE IN A FINISHED UNIT. ASSISTANCE INCLUDES REMOVAL AND REPLACEMENT OF INTERIOR TRIM AND GWB TO VIEW WINDOW ROUGH OPENING, PROVIDE ACCESS TO THE EXTERIOR OF THE BUILDING AND TO WEATHER PROTECT THE SURROUNDING EXTERIOR MATERIALS DURING TESTING. ASSUME TESTING OF 4 WINDOWS AND 1 SGD. CONTRACTOR RESPONSIBLE TO PAY FOR RE-TESTING FEES (TESTING AND CONTRACTOR ASSISTANCE) REQUIRED DUE TO FAILED TESTS.	NA	NA	NA

J2

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J2 Building Consultants, Inc.

4504 S Corbett Ave., Suite 100
Portland, Oregon 97239
Tel 503.546.8212
Fax 503.546.8219
www.J2Consultants.com

PRELIMINARY
NOT FOR
CONSTRUCTION

NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF SIZING AND QUANTITIES OF ALL COMPONENTS.
2. MOCK UP REVIEW OF ALL EXTERIOR ASSEMBLIES REQUIRED BEFORE INSTALLATION.
3. DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT TO BE USED FOR TAKE OFF QUANTITIES.
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Revisions:

A	Date	Description

Project Title:

PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

SCOPE OF WORK
SCHEDULE

Scale: As Noted

BID SET

Drawn By:MEB/JMM

Checked By:REPI/KJ

Issue Date:11/22/2023

Sheet Number:Job #:5631001

A0.2

SCOPE OF WORK AND COMPONENT REPLACEMENT SCHEDULE - PACIFIC VIEW							
ASSEMBLY	KEYNOTE	CATEGORY	BUILDING ELEMENT	DESCRIPTION OF WORK	REPLACEMENT MATERIAL	SPECIFICATION SECTION	APPLICABLE DETAILS
WALLS	W1	BASE SCOPE	SIDING - GENERAL	REMOVE AND DISPOSE OF ALL EXISTING CLADDING AND ACCESSORIES, INCLUDING SIDING AND TRIM, AS WELL AS GWB (ALL MATERIALS DOWN TO THE STUDS). INSTALL NEW ½" FIRE RETARDANT PLYWOOD WITH FULLY BLOCKED PANEL EDGES. INSTALL NEW WRB, ½" P.T. RAINSCREEN BATTENS, FIBER CEMENT SIDING AND TRIM PER PLANS. SIDING AT ELEVATOR AND CARPORT INTERIORS TO REMAIN.	FIBER CEMENT PANEL - SIERRA 8 AT EXISTING LOCATIONS OF VERTICAL CHANEL SIDING AND SELECT CEDAR MILL TEXTURE	02 40 00 DEMOLITION AND MOISTURE CONTROL; 06 10 00 ROUGH CARPENTRY; 07 27 00 WEATHER RESISTIVE AIR BARRIER; 07 46 46 FIBER CEMENT SIDING	7/W1.1, 2/W1.2, 3/W1.2, 6/W1.2, 7/W1.2, 1/W2.2, 2/W2.2, 3/W2.2, 4/W2.2, 5/W2.2, 6/W2.4, 1/W3.1, 2/W3.1, 3/W3.1, 4/W3.1, 5/W3.1, 6/W3.1, 7/W3.1, 8/W3.1, 9/W3.1, 1/W3.2, 2/W3.2, 3/W3.2, 4/W3.2, 5/W3.2, 6/W3.2, 7/W3.2, 8/W3.2, 9/W3.2, 1/W3.3, 2/W3.3, 3/W3.3
	W2	ALLOWANCE #6	FRAMING - REPAIR	REPAIR/REPLACE STRUCTURAL FRAMING AND HARDWARE, AS NEEDED. NOTIFY CONSULTANT OF DAMAGE.	PER SPECS	06 10 00 ROUGH CARPENTRY	NA
	W3	ALLOWANCE #7	CMU – REPAIR	REMOVE ALL SPALLED AND HEAVILY CRACKED PORTIONS OF CMU WALL. REPLACE WITH MATCHING MATERIAL AND APPROPRIATE GROUT, EPOXY OR OTHER APPROVED REPAIR MATERIAL. REPAIR SMALLER CRACKS WITH EPOXY INJECTION OR OTHER APPROVED METHOD.	PER SPECS	04 01 20 UNIT MASONRY RESTORATION	NA
	W4	ALLOWANCE #8	BRICK – REPAIR	REMOVE AND REPLACE ANY SIGNIFICANTLY CRACKED OR SPALLED BRICK. TUCK-POINT GROUT AT ALL EXPOSED BRICK CHIMNEY LOCATIONS.	PER SPECS	04 01 20 UNIT MASONRY RESTORATION	NA
	W5	ALTERNATE #3	EXTERIOR INSULATION - SIDING	PROVIDE ALTERNATE TO INSTALL CONTINUOUS ¾" THICK GPS RIGID INSULATION ON ALL EXTERIOR WALLS OVER NEW PLYWOOD, AND UNDER NEW WRB. INCLUDES INSTALLING WOOD "BUCKS" AROUND WINDOWS TO ALLOW WINDOW NAIL FIN ATTACHMENT. ALSO INCLUDES 1X P.T. FURRING (INSTEAD OF ¾") TO ACHIEVE PROPER SIDING FASTENING NAIL BASE.	PER SPECS	06 10 00 ROUGH CARPENTRY; 07 21 00 THERMAL INSULATION 07 27 00 WEATHER RESISTIVE AIR BARRIER	1/W2.5, 2/W2.5, 3/W2.5, 4/W2.5, 5/W2.5, 6/W2.5, 7/W2.5, 8/W2.5, 9/W2.5, 1/W2.6, 2/W2.6, 3/W2.6, 1/W3.4, 2/W3.4, 3/W3.4, 4/W3.4, 5/W3.4, 6/W3.4, 7/W3.4, 8/W3.4, 9/W3.4, 1/W3.5, 2/W3.5, 3/W3.5, 4/W3.5, 5/W3.5, 6/W3.5, 7/W3.5, 8/W3.5, 9/W3.5, 1/W3.6, 2/W3.6
		ALTERNATE #4	EXTERIOR INSULATION - CMU	AT THE EXTERIOR WALLS OF THE POOL ROOM, INSTALL CONTINUOUS ¾"GPS INSULATION OVER CMU, THEN INSTALL WRB, 1X P.T. RAINSCREEN FURRING, AND FIBER CEMENT SIDING AND TRIM. INCLUDES INSTALLING WOOD "BUCKS" AROUND WINDOWS TO ALLOW WINDOW NAIL FIN ATTACHMENT. ALSO INCLUDES BASE OF WALL FLASHING AND ALL OTHER APPLICABLE SIDING DETAILING.	FIBER CEMENT PANEL - SIERRA 8 AT EXISTING LOCATIONS OF VERTICAL CHANEL SIDING AND SELECT CEDAR MILL TEXTURE	06 10 00 ROUGH CARPENTRY; 07 21 00 THERMAL INSULATION; 07 27 00 WEATHER RESISTIVE AIR BARRIER; 07 46 46 FIBER CEMENT SIDING; 07 62 00 SHEET METAL FLASHING AND TRIM	4/W2.6, 5/W2.6, 7/W2.6, 7/W2.6, 3/W3.6, 4/W3.6, 5/W3.6, 6/W3.6
	W6	BASE SCOPE	INSIDE CORNER	INSTALL NEW INSIDE CORNER TRIM.	2x2 CLEAR CEDAR	07 46 23 WOOD SIDING	7/W3.1, 3/W3.5
	W7	BASE SCOPE	OUTSIDE CORNER	INSTALL NEW OUTSIDE CORNER TRIM.	5/4X4 FIBER CEMENT TRIM RUSTIC TEXTURE	07 46 46 FIBER CEMENT SIDING	6/W3.1, 2/W3.5
	W8	BASE SCOPE	TOP OF WALL	INSTALL TOP OF WALL TRIM AND/OR FLASHING PER DETAILS. MAINTAIN 1/4" GAP BETWEEN TRIM AND SIDING FOR RAIN SCREEN VENTILATION. PROTECT OPENING WITH INSECT SCREENS.	5/4 X 4 FIBER CEMENT TRIM, RUSTIC TEXTURE	06 10 00 ROUGH CARPENTRY; 07 46 46 FIBER CEMENT SIDING	7/W1.1, 2/W1.2, 3/W1.2, 6/W1.1, 7/W1.1, 2/W3.2, 9/W3.4
	W9	BASE SCOPE	BASE OF WALL	ADD NEW STAINLESS STEEL BASE OF WALL FLASHING AT THE BOTTOM OF ALL WALL LOCATIONS. SEE DETAILS FOR VARIOUS CONFIGURATIONS AT GRADE, HARDSCAPES, DECKS AND OTHER SPECIAL CONDITIONS. INTEGRATE WITH DECK SYSTEMS WHERE APPLICABLE. PROVIDE MEANS FOR DRAINAGE AND RAIN SCREEN VENTING AND PROTECT OPENING WITH INSECT SCREEN.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	3/W3.1, 4/W3.1, 5/W3.1, 2/W3.4, 3/W3.4, 5/W3.4, 4/W3.6, 5/W3.6, 7/W3.6
	W10	BASE SCOPE	BELLY BAND	INSTALL TRIM WITH HEAD FLASHING, COUNTER FLASHING AND/OR THROUGH-WALL FLASHING AS INDICATED ON DRAWINGS.	5/4 X 4 MATCH EXISTING HEIGHT, FIBER CEMENT TRIM, RUSTIC TEXTURE	07 46 46 FIBER CEMENT SIDING	2/W3.1, 9/W3.1, 5/W3.4
	W11	BASE SCOPE	VERTICAL TRANSITIONS	INSTALL TRIM AND BACKER ROD/SEALANT BETWEEN CLADDING TYPES.	5/4X4 FIBER CEMENT TRIM RUSTIC TEXTURE	07 46 46 FIBER CEMENT SIDING	8/W3.1, 3/W3.2, 7/W3.4, 8/W3.1
	W12	BASE SCOPE	THROUGH WALL FLASHING	INSTALL THROUGH WALL FLASHING AT ALL FLOOR LINES BETWEEN PANEL SIDING ACCENTS	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	2/W3.1, 1/W3.2, 6/W3.4
	W13	BASE SCOPE	WALL PENETRATIONS	ADD HOOD FLASHING TO ALL ELECTRICAL PANELS. REPLACE ALL EXISTING HVAC EXHAUST HOODS WITH FLANGED HOODS AND PROPERLY SEAL/TIGHT-LINE DUCTS TO HOOD. QUICK FLASH PANELS PREFERRED WHERE POSSIBLE. INSTALL NEW FROST-FREE HOSE BIBS EXTENDED OUT TO ACCOMMODATE THE APPROPRIATE WALL THICKNESS. ADD HEAD FLASHING AND BLOCKS AT ALL OTHER PIPES, ELECTRICAL AND MISC. WALL PENETRATIONS, TYPICAL. USE ANGLE OR RADIUS UP-TURNED END DAMS AT ALL HEAD FLASHING. INSTALL DRIP EDGE ON ALL FLASHINGS NOT LOCATED NEAR WALKING SURFACES. REMOVE DRIP EDGE "KICK" AND ALL SHARP EDGES ON HOSE BIB BLOCKS, OUTLET BLOCKS AND OTHER LOCATIONS CLOSE TO PEDESTRIAN TRAVEL.	PER SPECS; BLOCKS: 5/4 FIBER CEMENT TRIM, RUSTIC TEXTURE	07 46 46 FIBER CEMENT SIDING; 07 62 00 SHEET METAL FLASHING AND TRIM	4/W3.2, 5/W3.2, 6/W3.2, 7/W3.2, 8/W3.2, 9/W3.2, 1/W3.3, 2/W3.3, 3/W3.3, 1/W3.5, 4/W3.5, 5/W3.5, 6/W3.5, 7/W3.5, 8/W3.5, 9/W3.5, 1/W3.6, 2/W3.6, 3/W3.6
		BASE SCOPE	MISC. ACCESSORIES	CONTRACTOR TO DETACH AND RESET ALL ELECTRICAL OUTLETS, SWITCHES, BOXES, PHONE/CABLE WIRING AND OTHER DEVICES NECESSARY TO COMPLETE THE SIDING WORK. "UPGRADE" ALL EXTERIOR OUTLETS TO GFCI WITH WEATHER RESISTIVE COVERS. SERVICES NO LONGER IN USE SHALL BE PERMANENTLY REMOVED RATHER THAN RESET. REMOVE AND REINSTALL DOORBELLS, LIGHTS AND SIGNAGE AS REQUIRED TO PERFORM WORK.	NA	NA	NA
	W14	BASE SCOPE					

DECKS AND ENTRIES	D1	BASE SCOPE	GENERAL DEMO (FRONT AND REAR)	REMOVE AND DISPOSE OF EXISTING DECK & WALKWAY SURFACE, SHEATHING, FLASHING, CARPET, TILE, ETC., DOWN TO FRAMING.	NA	02 40 00 DEMOLITION AND MOISTURE CONTROL	NA
	D2	BASE SCOPE	WOOD FRAMING REPLACEMENT (REAR)	REMOVE AND REPLACE ALL GLULAM BEAMS AND STEEL COLUMNS AT THE WEST ELEVATION PRIVATE DECKS PER STRUCTURAL DETAILS. NEW GLB BEAMS AND COLUMNS TO BE TREATED WITH HI-CLEAR II. PRICING TO INCLUDE AUGMENTING EXISTING FRAMING TO ACCOMMODATE NEW STRUCTURAL MEMBERS.	PER SPECS 24F-V4 DF/DF GLB'S TREATED WITH HI-CLEAR II	06 10 00 ROUGH CARPENTRY	1/S2.1, 2/S2.1, 3/S2.1, 4/S2.1, 5/S2.1, 6/S2.1, 7/S2.1, 8/S2.1, 8/S2.1
	D3	ALLOWANCE #9	WOOD FRAMING – REPAIRS (FRONT, REAR & CARPORTS)	PROVIDE ALLOWANCE TO REMOVE AND REPLACE DAMAGED HARDWARE, DECK JOISTS, BEAMS, ROOF BEAMS AND ANY OTHER EXTERIOR WOOD FRAMING RELATED TO DECKS, WALKWAYS, AND CARPORTS.	PER SPECS	06 10 00 ROUGH CARPENTRY	S0.1
	D4	ALLOWANCE #10	STEEL FRAMING - REPAIRS (FRONT & CARPORTS)	PROVIDE ALLOWANCE TO CUT OUT AND REPLACE SECTIONS OF SEVERELY DETERIORATED STEEL COLUMNS AND BRACKETS. FOR LESS SEVERE CORROSION, REMOVE PAINT AND CORROSION BY SAND BLASTING OR WIRE BRUSH/WHEEL. PRIME ALL STEEL WITH ZINC RICH PRIMER.	CONTRACTOR TO PROVIDE SHOP DRAWINGS FROM METAL FABRICATOR, FOR APPROVAL	NA	S0.1
	D5	BASE SCOPE	DECK & WALKWAY SURFACES (FRONT & REAR)	INSTALL NEW SHEATHING TO ACHIEVE PROPER FIRE RATING AND TO RECEIVE TRAFFIC COATING. ENSURE PROPER GAP BETWEEN PANELS (1/16") AND PROVIDE 2X4 FLAT BLOCK AT UNSUPPORTED EDGES. INSTALL NEW DECK COATING SYSTEM PER MANUFACTURER INCLUDING JOINT REINFORCEMENT/DETAIL COAT AT PLYWOOD PANEL EDGES.	PER SPECS	06 10 00 ROUGH CARPENTRY; 07 14 16 COLD FLUID APPLIED WATERPROOFING	1/W4.1, 2/W4.1, 3/W4.1, 5/W4.1, 8/W4.1, 2/W4.2, 3/W4.2, 4/W4.2, 5/W4.2, 6/W4.2, 7/W4.2
	D6	BASE SCOPE	DECK PENETRATIONS (FRONT)	INSTALL NEW STAINLESS STEEL SHEET METAL SLEEVES THROUGH WALKWAYS TO PROVIDE A MEANS TO EXTEND DOWNSPOUTS THROUGH THE ASSEMBLY. SLEEVES TO HAVE A FLANGE THAT IS INTEGRATED INTO DECK WATERPROOFING SYSTEM.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	8/W4.1
	D7	BASE SCOPE	ELEVATED LANDING SURFACES (FRONT)	AT ELEVATED CONCRETE LANDINGS ON EAST ELEVATION, INCLUDING THE LOWER-LEVEL ENTRANCE TO THE PARKING GARAGE, INSTALL TRAFFIC COATING ON THE LANDING FOR PROPER WEATHER PROTECTION.	PER SPEC	07 14 16 COLD FLUID APPLIED WATERPROOFING	1/W4.3
	D8	BASE SCOPE	BEAM WRAP/FASCIA (FRONT & REAR)	INSTALL WRB OVER DECK AND WALKWAY BOX BEAMS AND INSTALL NEW FIBER CEMENT FASCIA (AND WRAP ENTIRE BEAM IN TRIM/SOFFIT PANEL). INSTALL DRIP EDGE METAL OVER NEW DECK FASCIA TRIM PER PLANS. PROVIDE DRAINAGE GAP AND COUNTER-FLASHING TO ALLOW WATER EGRESS BELOW FASCIA. INSTALL NEW BLOCKING BEHIND NEW FASCIA AT WALKWAYS TO EXTEND FACE OF WALKWAY PAST EXISTING COLUMN FACE.	PER SPECS	07 27 00 WEATHER RESISTIVE AIR BARRIER; 07 46 46 FIBER CEMENT SIDING; 07 62 00 SHEET METAL FLASHING AND TRIM	5/S2.1, 6/S2.1, 7/S2.1, 8/S2.1, 1/W4.1, 8/W4.2
		BASE SCOPE	DECK-TO-WALL FLASHINGS (FRONT & REAR)	INSTALL METAL DECK TO WALL FLASHING AT ALL VERTICAL TRANSITIONS. PROPERLY INTEGRATE FLASHINGS WITH DECK COATING AND WALL CLADDING SYSTEMS.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	2/W4.1, 3/W4.1, 2/W4.3
	D10	BASE SCOPE	DIVERTERS AND SADDLES (FRONT & REAR)	INSTALL SADDLE FLASHING AT ALL BEAM-TO-WALL, EDGE OF DECK-TO-WALL AND DECK-TO-COLUMN TRANSITIONS. PROVIDE DIVERTERS TO ENSURE WATER IS DIRECTED AWAY FROM THE BUILDINGS AND NOT BEHIND THE CLADDING SYSTEM.	PER SPECS	07 62 00 SHEET METAL FLASHING AND TRIM	4/W4.1, 5/W4.1, 4/W4.2, 5/W4.2, 6/W4.2, 7/W4.2
	D11	BASE SCOPE	COLUMN WRAP (REAR)	INSTALL NEW WRB AND FIBER CEMENT TRIM AROUND COLUMNS AT PRIVATE DECKS. ENSURE PROPER INTEGRATIONS AT DECK EDGE/FASCIA, COLUMN CAPS AND COLUMN BASES.	5/4 FIBER CEMENT TRIM RUSTIC TEXTURE	07 27 00 WEATHER RESISTIVE AIR BARRIER; 07 46 46 FIBER CEMENT SIDING	6/W4.1, 7/W4.1, 9/W4.1, 9/W4.2
	D12	BASE SCOPE	SOFFITS (FRONT & REAR)	REMOVE SOFFIT PANELS AND GWB SOFFIT AS REQUIRED TO REPAIR DAMAGE AND IMPLEMENT GUARDRAIL BLOCKING DETAILS. REPLACE DAMAGED GWB PER DECK TYPES. REINSTALL, OR INSTALL NEW SOFFIT MATERIAL TO MATCH EXISTING.	PER SPECS; FIBER CEMENT PANEL AT SOFFITS, SMOOTH TEXTURE	07 46 46 FIBER CEMENT SIDING; 09 29 00 GYPSUM BOARD	1/W4.1, 2/W4.1, 3/W4.1, 8/W4.2, 2/W4.3
	D13	BASE SCOPE	SOFFIT VENTING (FRONT & REAR)	INSTALL VENTS AT DECK/ENTRYWAY SOFFITS TO PROVIDE CROSS VENTILATION AT ALL ENCLOSED JOIST BAYS. VENTS TO BE FIRE RATED AS REQUIRED PER DECK ASSEMBLY.	PER SPECS BRANDGUARD 1 HR SOFFIT VENTS OR EQUAL	07 46 46 FIBER CEMENT SIDING; 09 29 00 GYPSUM BOARD	NA
	D14	BASE SCOPE	GUARDS (FRONT & REAR)	AT WOOD DECK/LANDING LOCATIONS, REMOVE AND DISPOSE OF EXISTING RAILINGS. INSTALL NEW PREFABRICATED FASCIA-MOUNTED POWDER COATED ALUMINUM GUARDRAIL SYSTEM AS NOTED ON PLANS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND ENGINEERING FOR I2 REVIEW AND APPROVAL PRIOR TO FABRICATION. INSTALL NEW BLOCKING PER DRAWINGS FOR GUARDRAIL ATTACHMENT.	PREFABRICATED POWDER COATED ALUMINUM - DESIGN BUILD. DESIGN INTENT: FASCIA MOUNT SINGLE TOP RAIL PICKET RAILING. PROVIDE SHOP DRAWINGS AND STAMPED ENGINEERING FROM MANUFACTURE FOR REVIEW AND APPROVAL BY I2 AND THE JURISDICTION PRIOR TO FABRICATION. COLOR: BLACK	05 52 13 PIPE AND TUBE RAILINGS	1/W4.1, 2/W4.2, 3/W4.2, 8/W4.2
		BASE SCOPE	HANDRAILS AND STAIRWAY GUARDS (FRONT)	REMOVE AND DISPOSE OF EXISTING METAL RAILS AT STAIRWAYS AND STAIR LANDINGS. INSTALL NEW STEEL GUARDS AND HAND RAILS FIELD WELDED TO EXISTING STRINGERS. PROVIDE HANDRAIL EXTENSIONS AND CONTINUATION OF RAILS AT CHANGE IN DIRECTION, AND AT TOP AND BOTTOM OF STAIRS PER CODE AND AS NOTED ON PLANS AND DETAILS.	STEEL GUARDRAILS - DESIGN BUILD. DESIGN INTENT: SINGLE TOP RAIL PICKET RAILING, MATCH EXISTING STYLE AND ATTACHMENT WITH CODE COMPLIANT DIMENSIONS. PROVIDE SHOP DRAWINGS AND STAMPED ENGINEERING FROM MANUFACTURE FOR REVIEW AND APPROVAL BY I2 AND THE JURISDICTION PRIOR TO FABRICATION. COLOR: BLACK	05 52 13 PIPE AND TUBE RAILINGS	4/W4.1, 3/W4.2
	D16	ALLOWANCE #11	STAIR STRINGERS AND TREADS (FRONT)	INSPECT ALL STAIR STRINGERS AND TREADS AND REPLACE WHERE FOUND TO BE DAMAGED.	MATCH EXISTING	NA	NA
	D17	ALLOWANCE	CONCRETE PILLARS (READ & CARPORTS)	CHIP OUT ALL LOOSE/DAMAGED CONCRETE AT THE BASE OF METAL POSTS AT THE DECKS AND CARPORTS. CLEAN REINFORCING STEEL WITH STEEL WIRE BRUSH AND COAT WITH ZINC RICH PRIMER. PATCH CONCRETE WITH APPROVED MATERIAL FOLLOWING REPAIRS TO STEEL COLUMNS.	PER SPECS	03 01 30 CONCRETE REPAIR MORTAR	NA

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J2 Building Consultants, Inc.

4504 S Corbett Ave., Suite 100
Portland, Oregon 97239
Tel 503.546.8212
Fax 503.546.8219
www.J2Consultants.com

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ASSEMBLY	KEYNOTE	CATEGORY	BUILDING ELEMENT	DESCRIPTION OF WORK	REPLACEMENT MATERIAL	SPECIFICATION SECTION	APPLICABLE DETAILS
MISCELLANEOUS	M1	BASE SCOPE	PAINT	PAINT ALL BUILDING EXTERIOR ELEMENTS THAT WERE PREVIOUSLY PAINTED AS REQUIRED, INCLUDING BUT NOT LIMITED TO SIDING, TRIM, FASCIA/BARGEBOARDS, EXPOSED DECK FRAMING, UNDERSIDE OF DECK FRAMING AND SHEATHING, GUTTERS/DOWNSPOUTS AND DOORS. ALL NEW MATERIALS TO BE PRE-PRIMED WHEN POSSIBLE AND FIELD PRIMED AT ALL CUTS. PAINT ALL NEW SIDING AND TRIM. EXISTING SIDING AT ELEVATOR TO REMAIN AS IS. DO NOT PAINT.	PER SPECS	09 91 13 EXTERIOR PAINTING	NA
	M2	BASE SCOPE	CMU - COATING	PROPERLY PREP EXISTING CMU SURFACES AND INSTALL NEW ELASTOMERIC COATING.	PER SPECS	09 91 13 EXTERIOR PAINTING	NA
	M3	BASE SCOPE	BRICK - SEALER	PROPERLY PREP EXISTING BRICK MASONRY AND INSTALL NEW BRICK SEALER (SILOXANE OR SIMILAR).	PER SPECS	07 19 00 MASONRY WATER REPELLENTS	NA
	M4	BASE SCOPE	EXPOSED STEEL	PROPERLY PREP AND COAT ALL EXPOSED STEEL (STAIR STRINGERS, LANDING BEAMS/COLUMNS, ETC.) WITH MARINE GRADE COATING.	PER SPECS	09 91 13 EXTERIOR PAINTING	NA
	M5	BASE SCOPE	SITE RAILINGS	REMOVE AND REPLACE ALL SITE RAILINGS AT THE MAIN FLOOR AND SIDEWALK SLAB-ON-GRADE STAIRS LEADING UP TO FIRST FLOOR.	PREFABRICATED POWDER COATED ALUMINUM - DESIGN BUILD. DESIGN INTENT: DOUBLE TOP RAIL PICKET RAILING. PROVIDE SHOP DRAWINGS AND STAMPED ENGINEERRING FROM MANUFACTURE FOR REVIEW AND APPROVAL BY J2 AND THE JURISDICTION PRIOR TO FABRICATION. COLOR: BLACK	05 52 13 PIPE AND TUBE RAILINGS	NA
	M6	ALLOWANCE	LIGHTING	PROVIDE ALLOWANCE TO REMOVE AND INSTALL NEW LIGHT FIXTURES AT UNIT ENTRIES AND DECKS AND WALKWAY CEILING MOUNT FIXTURES.	NA	NA	NA
	M7	ALLOWANCE	LANDSCAPING	PROVIDE ALLOWANCE TO RESTORE EXISTING LANDSCAPING TO PRE-CONSTRUCTION CONDITIONS. ALLOWANCE SHOULD TAKE INTO ACCOUNT CONTRACTOR MEANS AND METHODS THAT WILL AFFECT LANDSCAPING DURING CONSTRUCTION.	NA	NA	NA
	M8	ALLOWANCE	INTERIOR REPAIRS	PROVIDE ALLOWANCE TO REPAIR NAIL POPS, TOUCH UP DRYWALL/TRIM AROUND WINDOWS, AND OTHER NECESSARY REPAIR WORK ANTICIPATED BASED ON THE SCOPE OF WORK. INCLUDE TEXTURE AND PRIMER WHERE APPLICABLE, BUT EXCLUDE INTERIOR PAINT.	NA	NA	NA
	M9	ALTERNATE	FIRE DOOR	ADD SELF-CLOSING METAL FIRE DOORS AT THE BACK OF THE GARAGES LEADING TO THE STAIRS.	2 HR. RATED FIRE DOOR	NA	NA
	M10	ALLOWANCE	GARAGE CEILING	REPLACE DAMAGED/MISSING GWB CEILING IN PARKING GARAGE AND FIRE TAPE AS NEEDED.	MATCH EXISTING	NA	NA
	NA	NA	INTERIOR VENTILATION	ALL INTERIOR VENTILATION MEASURES ARE BEYOND J2'S SCOPE OF WORK. NOTE THAT PROPERLY FUNCTIONING MECHANICAL OR NATURAL VENTILATION IS NECESSARY FOR THE BUILDING ENVELOPE TO FUNCTION AS DESIGNED. MECHANICAL VENTILATION IS LIKELY REQUIRED AT THE POOL AREA	NA	NA	NA

J2

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J2 Building Consultants, Inc.

4504 S Corbett Ave., Suite 100
Portland, Oregon 97239
Tel 503.546.8212
Fax 503.546.8219
www.J2Consultants.com

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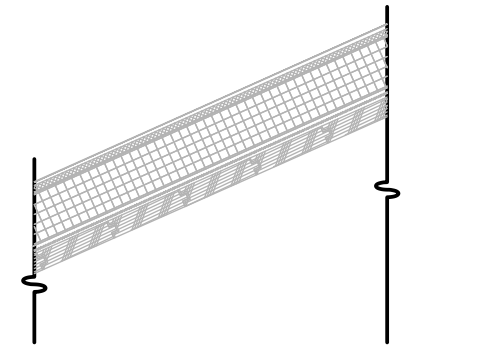
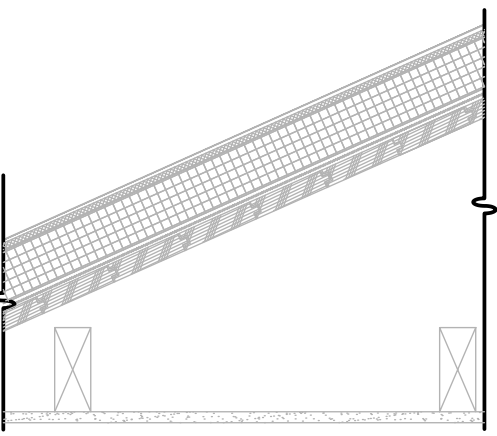
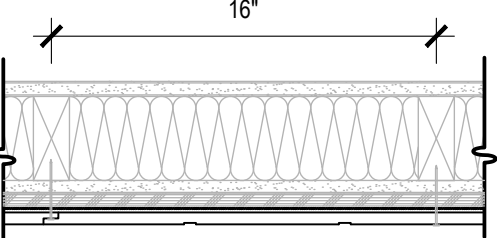
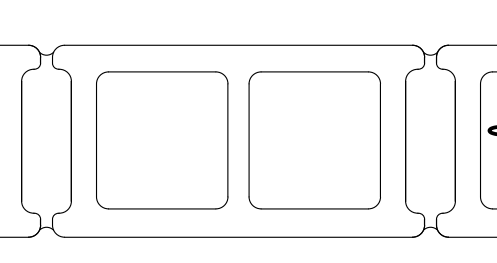
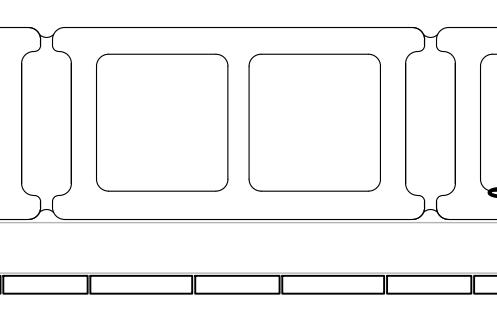
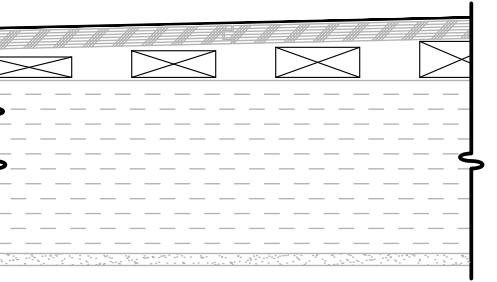
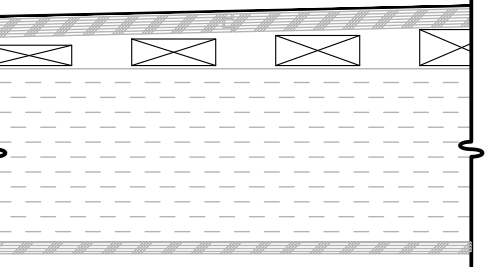
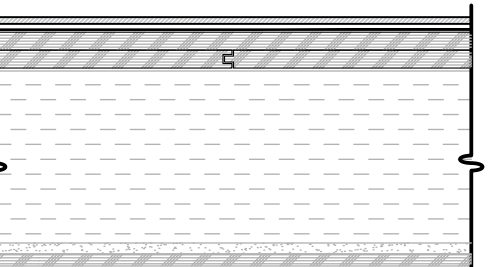
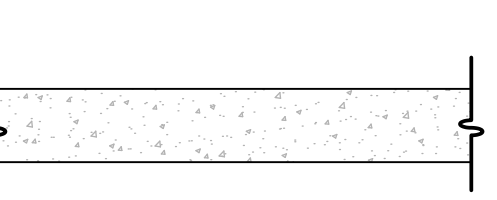
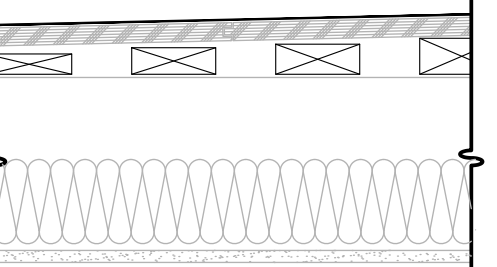
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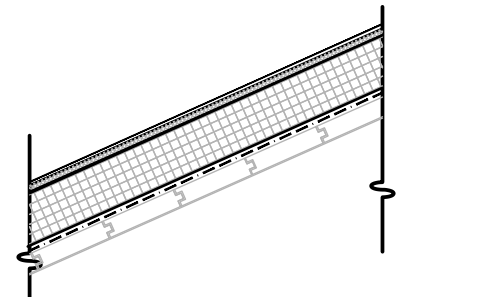
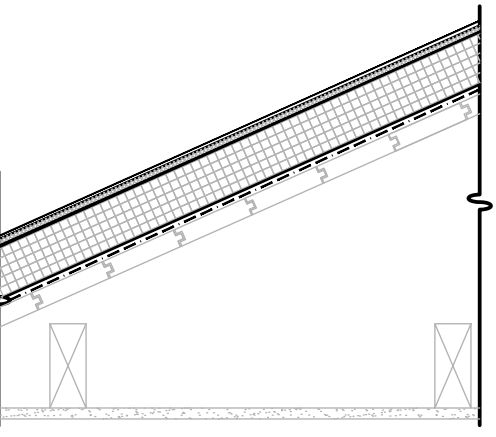
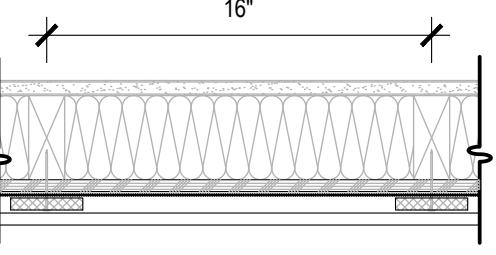
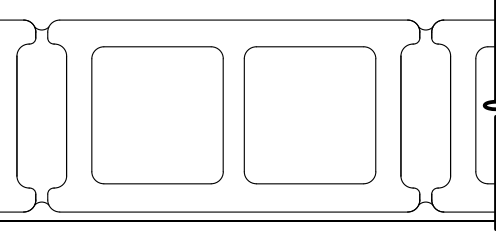
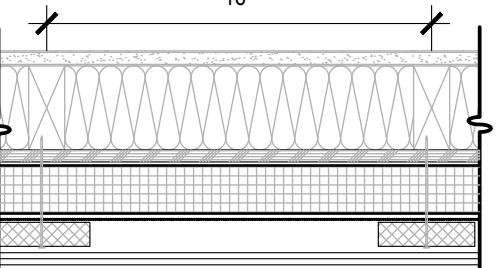
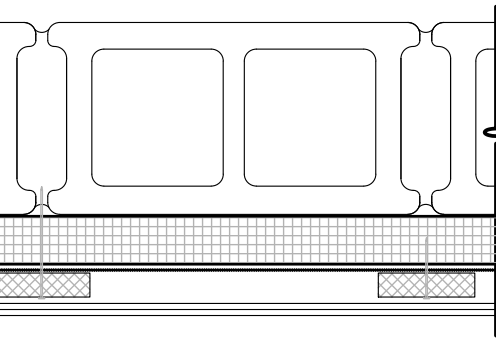
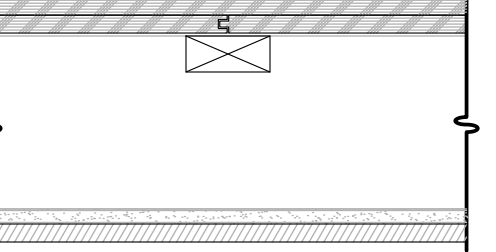
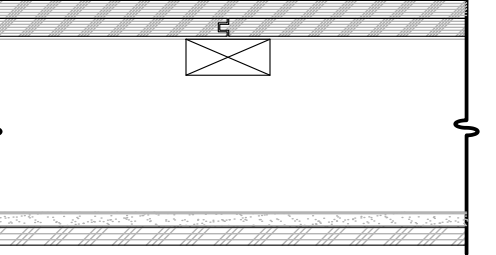
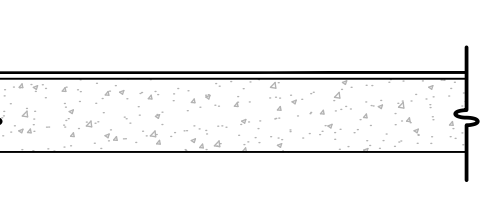
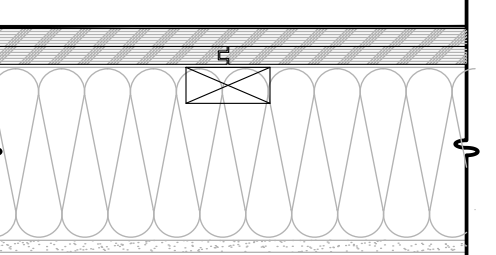
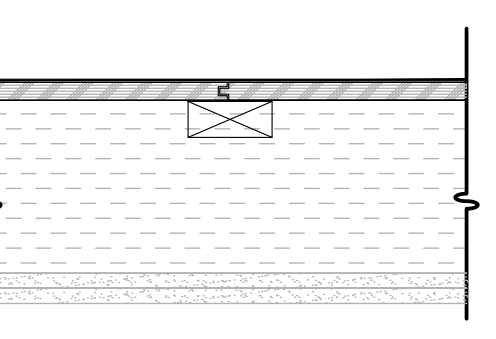
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EXISTING WALL, DECK, & ROOF TYPES

TAG	TYPE	ASSEMBLY DESCRIPTION	NOTES
R1E	EXISTING ROOF: SINGLE-PLY MEMBRANE	 - EXISTING SINGLE PLY ROOFING - UNKNOWN COVERBOARD - UNKNOWN INSULATION - UNKNOWN UNDERLAYMENT - EXISTING 2 X 6 T&G CAR DECKING	UNKNOWN FIRE RATING
R2E	EXISTING ROOF: SINGLE-PLY MEMBRANE	 - EXISTING SINGLE PLY ROOFING - UNKNOWN COVERBOARD - UNKNOWN INSULATION - UNKNOWN UNDERLAYMENT - EXISTING 2 X 6 T&G CAR DECKING - EXISTING WOOD FRAMING - EXISTING INTERIOR 5/8" GWB AT WALKWAY SOFFITS - EXISTING EXTERIOR GWB - EXISTING 1/2" PLYWOOD	UNKNOWN FIRE RATING
W1E	EXISTING EXTERIOR WALL: T1-11 PANEL SIDING	 - EXISTING INTERIOR GYPSUM WALL BOARD - EXISTING 2X FRAMING - BATT INSULATION (LOCATION VARIES) - EXISTING 1/2" ASPHALT IMPREGNATED GWB SHEATHING (LOCATION VARIES) - EXISTING #30 ROOFING FELT (LOCATION VARIES) - EXISTING 1/2" T1-11 PANEL SIDING	ASSUMED 1-HR RATED ASSEMBLY
W2E	EXISTING WALL: CMU WALL	 - EXISTING INTERIOR PAINT - EXISTING CMU WALL - EXISTING COATING/PAINT (UNKNOWN TYPE)	UNKNOWN IF SOLID, GROUTED OR HOLLOW
W3E	EXISTING EXTERIOR WALL (ELEVATOR): VERTICAL WOOD SIDING	 - EXISTING CMU - EXISTING 2X OR 4X HORIZONTAL BLOCKING - EXISTING VERTICAL WOOD SIDING	- ASSUMED 1-HR RATED ASSEMBLY - NO PROPOSED CHANGES
D1E	EXISTING DECK: TRAFFIC COATED REAR DECKS 1ST FLOOR (OVER PARKING)	 - EXISTING TILE (LOCATION VARIES, NOT SHOWN) - EXISTING TRAFFIC COATING - EXISTING SHEATHING - EXISTING BLOCKING (SLOPED) - EXISTING NON PT 2X10 JOISTS - EXISTING EXTERIOR GWB	ASSUMES DECKS ARE 1 HR RATED
D2E	EXISTING DECK: TRAFFIC COATED REAR DECKS 2ND AND 3RD FLOOR	 - EXISTING TILE (LOCATION VARIES, NOT SHOWN) - EXISTING TRAFFIC COATING - EXISTING SHEATHING - EXISTING BLOCKING (SLOPED) - EXISTING NON PT 2X10 JOISTS - EXISTING 5/8" PLYWOOD SOFFIT	ASSUMES DECKS ARE NON-FIRE RATED
D3E	EXISTING WALKWAYS: CARPETED, TRAFFIC COATED	 - EXISTING OUTDOOR CARPET - EXISTING TRAFFIC COATING - EXISTING (2) LAYERS PLYWOOD SHEATHING - EXISTING NON PT 2X10 - EXISTING 1/2" GWB - EXISTING 1/2" PLYWOOD SOFFIT	ASSUMES 1-HR FIRE RATED ASSEMBLY
D4E	EXISTING STRUCTURAL SLAB	 EXISTING CONCRETE SLAB (REINFORCEMENT UNKNOWN)	ASSUMES 1-HR FIRE RATED ASSEMBLY
D5E	EXISTING DECK: TRAFFIC COATED OVER LIVING SPACE	 - EXISTING TILE - EXISTING TRAFFIC COATING - EXISTING SHEATHING - EXISTING BLOCKING (SLOPED) - EXISTING NON PT 2X10 JOISTS - BATT INSULATION (ASSUMED, R VALUE UNKNOWN) - EXISTING 5/8" INTERIOR GWB	ASSUMES 1-HR FIRE RATED ASSEMBLY

PROPOSED WALL, DECK, & ROOF TYPES

TAG	TYPE	ASSEMBLY DESCRIPTION	NOTES
R1	PROPOSED ROOF: SINGLE-PLY MEMBRANE	 - NEW SINGLE PLY ROOFING (EPDM) FULLY ADHERED - NEW COVERBOARD - NEW (2) LAYERS 2.6" RIGID INSULATION, FULLY ADHERED - NEW UNDERLAYMENT - EXISTING T&G CAR DECKING - EXISTING VAULTED CEILING	- CONTRACTOR TO INSPECT EXISTING T&G CAR DECKING AND NOTIFY CONSULTANT OF DAMAGE. - REPLACE DAMAGED MATERIAL "LIKE FOR LIKE" - ROOF INSULATION VALUE: R-30
R2	PROPOSED ROOF: SINGLE-PLY MEMBRANE	 - NEW SINGLE PLY ROOFING (EPDM) FULLY ADHERED - NEW COVERBOARD - NEW (2) LAYERS 2.6" RIGID INSULATION, FULLY ADHERED - NEW UNDERLAYMENT - EXISTING T&G CAR DECKING - EXISTING WOOD FRAMING - EXISTING INTERIOR 5/8" GWB (ASSUMED)	- CONTRACTOR TO INSPECT EXISTING T&G CAR DECKING AND NOTIFY CONSULTANT OF DAMAGE. - REPLACE DAMAGED MATERIAL "LIKE FOR LIKE" - ROOF INSULATION VALUE: R-30
W1	PROPOSED EXTERIOR WALL: FIBER CEMENT SIDING	 - EXISTING INTERIOR GYPSUM WALL BOARD - EXISTING 2X FRAMING - BATT INSULATION (LOCATION VARIES) - NEW FIRE RETARDANT PLYWOOD - NEW WRB - NEW 1/2"x3" P.T. FURRING STRIPS - NEW FIBER CEMENT PANEL SIDING	1-HR RATED ASSEMBLY
W2	PROPOSED WALL: CMU WALL	 - EXISTING INTERIOR PAINT - EXISTING CMU WALL - NEW ELASTOMERIC COATING	UNKNOWN IF SOLID, GROUTED OR HOLLOW
W1 ALT	ALTERNATE EXTERIOR WALL: FIBER CEMENT SIDING	 - EXISTING INTERIOR GYPSUM WALL BOARD - EXISTING 2X FRAMING - BATT INSULATION (LOCATION VARIES) - NEW 1/2" FIRE RETARDANT PLYWOOD - NEW RIGID INSULATION - NEW WRB - NEW 1"x4" P.T. FURRING STRIPS - NEW FIBER CEMENT SIDING	
W2 ALT	ALTERATE WALL: CMU WALL	 - EXISTING INTERIOR PAINT - EXISTING CMU WALL - NEW RIGID INSULATION - NEW WRB - NEW 1x4 P.T. FURRING - NEW FIBER CEMENT SIDING	UNKNOWN IF SOLID, GROUTED OR HOLLOW
D1	PROPOSED DECK: TRAFFIC COATED	 - NEW PEDESTRIAN TRAFFIC COATING - NEW 19/32" T&G ACX PLYWOOD - NEW 15/32" MIN. CDX PLYWOOD - NEW OR EXISTING FRAMING REPLACED AS NECESSARY (MUST BE PRESSURE TREATED) - NEW FIBERGLASS FACED 5/8" TYPE X GWB - NEW FIBER CEMENT SOFFIT PANEL	1-HR FIRE RATING (GA FILE NO. FC 5420) - CONTRACTOR TO INSPECT EXISTING DECKS AND NOTIFY CONSULT OF DAMAGE. - ASSUME TO REPLACE ALL DAMAGED MATERIAL "LIKE FOR LIKE" SIZE AND P.T. LUMBER. - PROVIDE BLOCKING AT ALL PLYWOOD SEAMS - SOFFITS TO BE VENTED TO A/150. ALL JOIST BAYS TO BE VENTED AT BOTH SIDES WITH FIRE RATED VENTS
D2	PROPOSED WALKWAYS: TRAFFIC COATED	 - NEW PEDESTRIAN TRAFFIC COATING - NEW 19/32" T&G ACX PLYWOOD - NEW 15/32" MIN. CDX PLYWOOD - NEW OR EXISTING FRAMING REPLACED AS NECESSARY (MUST BE PRESSURE TREATED) - EXISTING OR NEW FIBERGLASS FACED 5/8" TYPE X GWB - NEW OR EXISTING PLYWOOD SOFFIT	1-HR FIRE RATING (GA FILE NO. FC 5420) - CONTRACTOR TO INSPECT EXISTING DECKS AND NOTIFY CONSULT OF DAMAGE. - ASSUME TO REPLACE ALL DAMAGED MATERIAL "LIKE FOR LIKE" SIZE AND P.T. LUMBER. - PROVIDE BLOCKING AT ALL PLYWOOD SEAMS - SOFFITS TO BE VENTED TO A/150. ALL JOIST BAYS TO BE VENTED AT BOTH SIDES WITH FIRE RATED VENTS
D3	PROPOSED STRUCTURAL SLAB: TRAFFIC COATED	 - NEW PEDESTRIAN TRAFFIC COATING - EXISTING CONCRETE SLAB (REINFORCEMENT UNKNOWN)	ASSUMES 1-HR FIRE RATED ASSEMBLY
D5	PROPOSED DECK: TRAFFIC COATED OVER LIVING SPACE	 - NEW PEDESTRIAN TRAFFIC COATING - NEW 19/32" T&G ACX PLYWOOD - NEW 15/32" MIN. CDX PLYWOOD - EXISTING NON PT 2X10 JOISTS - NEW MINERAL WOOL BATT INSULATION, FULL HEIGHT - EXISTING 5/8" INTERIOR GWB	1-HR FIRE RATING (GA FILE NO. FC 5420)
D1 ALT D2 ALT	ALTERNATE: PROPOSED DECKS AND WALKWAYS: TRAFFIC COATED	 - NEW PEDESTRIAN TRAFFIC COATING - NEW 3/4" T&G ACX EXPOSURE-1 DECK - NEW OR EXISTING FRAMING REPLACED AS NECESSARY (MUST BE PRESSURE TREATED) - NEW (2) LAYERS FIBERGLASS FACED 5/8" TYPE X GWB - SOFFIT PER D1 & D2	- ALTERNATE ASSEMBLY TO BE USED WHEN CLEARANCE BETWEEN THE FRAMING AND DOOR THRESHOLDS TO NOT ALLOW 2 LAYERS OF SHEATHING AT DECK SURFACE - CONTRACTOR TO INSPECT EXISTING DECKS AND NOTIFY CONSULT OF DAMAGE. - ASSUME TO REPLACE ALL DAMAGED MATERIAL "LIKE FOR LIKE" SIZE AND P.T. LUMBER. - PROVIDE BLOCKING AT ALL PLYWOOD SEAMS 1-HR RATED GA FC- 5406 - ALL PLYWOOD MUST BE SMOOTH-FACED, APA STAMPED, AND EXTERIOR GRADE TONGUE AND GROOVE PLYWOOD. CONSTRUCTION MUST CONFORM TO CODE. BUT PLYWOOD MUST NOT BE LESS THAN 23/32" THICK. PLYWOOD SPACING AND DECK CONSTRUCTION MUST FOLLOW APA GUIDELINES.

**WINDOW ENERGY & SAFETY REQUIREMENTS

- 1) **ENERGY:**
- A. WINDOW OPERATION AND SIZES TO MATCH EXISTING UNLESS NOTED OTHERWISE
- B. ALL NEW WINDOWS AND SLIDING GLASS DOORS TO HAVE A U-VALUE OF 0.30 OR LESS
- 2) **SAFETY GLAZING:**
- SAFETY GLAZING BEARING MANUFACTURER'S ETCHED DESIGNATION OF COMPLIANCE REQUIRED AT THE FOLLOWING HAZARDOUS LOCATIONS:
- A. GLAZING IN DOORS
- FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS
- B. GLAZING ADJACENT TO DOORS
- GLAZING IN AN INDIVIDUAL FIXED PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- C. GLAZING IN WINDOWS
- WHERE THE EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9SF. AND, WHERE THE BOTTOM EDGE OF GLAZING IS LESS THAN 18" ABOVE THE FLOOR, AND, WHERE THE TOP EDGE OF GLAZING IS GREATER THAN 36" ABOVE THE FLOOR, AND WHERE A WALKING SURFACE IS WITHIN 36", MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING (SEE STAIRS AND LANDINGS).
- D. GLAZING ADJACENT TO STAIRS OR RAMPS
- WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF THE STAIRWAY/RAMP OR LANDING BETWEEN FLIGHTS OF STAIRS/RAMP.
- E. GLAZING ADJACENT TO BOTTOM STAIR LANDING
- WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AT THE BOTTOM OF THE STAIRS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.
- 3) **GUARDS:**
- ONE OF THE FOLLOWING CRITERIA MUST BE MET AT OPENINGS WHERE THE SILL IS LESS THAN 24" AND GREATER THAN 72" ABOVE EXTERIOR SURFACE:
- A. PROVIDE A WINDOW THAT WILL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH. THIS MAY REQUIRE INSTALLATION OF A WINDOW OPENING CONTROL DEVICE.
- B. PROVIDE A WINDOW FALL PROTECTION DEVICE IN COMPLIANCE WITH ASTM F 2090 AND WHEN DEVICE IS RELEASED SHALL NOT REDUCE THE CLEAR OPENING SIZE AND DIMENSIONS INDICATED IN EMERGENCY ESCAPE NOTES A AND B BELOW.
- 4) **EMERGENCY ESCAPE AND RESCUE:**
- ALL SLEEPING ROOMS SHALL HAVE A WINDOW OR DOOR THAT OPENS INTO A PUBLIC WAY, YARD OR COURT THAT IS CAPABLE OF THE FOLLOWING:
- A. MINIMUM OPENING SIZE TO BE 5.7SF. OPENING SIZE CAN BE REDUCED TO 5.0SF AT GRADE FLOOR LOCATIONS.
- B. MINIMUM CLEAR NET OPENING HEIGHT TO BE 24" AND MINIMUM CLEAR NET OPENING WIDTH TO BE 20".
- C. MAXIMUM HEIGHT FROM FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING TO BE 44".
- D. IF THERE ARE OPENING RESTRAINTS ON THE WINDOWS, THEY SHALL BE ABLE TO BE REMOVED WITHOUT THE USE OF KEYS, TOOLS, OR FORCE GRATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE WINDOW ITSELF.
- E. WINDOW WELLS SHALL BE PROVIDED AT ALL LOCATIONS WHERE THE WINDOW SILL IS BELOW EXTERIOR GRADE. WINDOW WELLS SHALL HAVE AN AREA AT LEAST 9SF WHICH SHALL INCLUDE A LENGTH AND WIDTH OF AT LEAST 36". THE WINDOW WELL SHALL ALLOW THE WINDOW TO FULLY OPEN. IF THE WINDOW WELL IS MORE THAN 44" DEEP, IT SHALL HAVE A PERMANENTLY ATTACHED LATTER OR STEPS. LADDERS SHALL HAVE RUNGS WITH AN INSIDE WIDTH OF AT LEAST 12". SHALL PROJECT AT LEAST 3" FROM THE WALL AND RUNG SPACING SHALL BE NO MORE THAN 18". LADDERS OR STEPS SHALL NOT ENCRROACH ON THE WINDOW WELL AREA MORE THAN 6".
- F. EXEMPTION PER 2015 IBC 406.3 REPLACEMENT WINDOW EMERGENCY ESCAPE AND RESCUE OPENINGS. WHERE WINDOWS ARE REQUIRED TO PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS IN GROUP R-2 AND R-3 OCCUPANCIES, REPLACEMENT WINDOWS SHALL BE EXEMPT FROM THE REQUIREMENTS OF GLASS SECTIONS 1030.2.1030.3 AND 1030.5 PROVIDED THE REPLACEMENT WINDOW MEETS THE FOLLOWING CONDITIONS:
1. THE REPLACEMENT WINDOW WINDOW IS THE MANUFACTURER'S LARGEST STANDARD SIZE WINDOW THAT WILL FIT WITHIN THE EXISTING FRAME OR EXISTING ROUGH OPENING. THE REPLACEMENT WINDOW SHALL BE PERMITTED TO BE OF THE SAME OPERATING STYLE AS REQUIRED THE EXISTING WINDOW OR A STYLE THAT PROVIDES FOR NEW INSTALLATIONS. AN EQUAL OR GREATER WINDOW OPENING AREA THAN THE EXISTING WINDOW.
2. THE REPLACEMENT OF THE WINDOW IS NOT PART OF A CHANGE OF OCCUPANCY.

PRELIMINARY
NOT FOR
CONSTRUCTION

- NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF SIZING AND QUANTITIES OF ALL COMPONENTS.
2. MOCK UP REVIEW OF ALL EXTERIOR ASSEMBLIES REQUIRED BEFORE INSTALLATION.
3. DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT TO BE USED FOR TAKE OFF QUANTITIES.
4. THESE PLANS WERE PREPARED BASED ON THE INFORMATION AVAILABLE AT THE TIME OF THEIR PREPARATION. BUILDING REMEDIATION PROJECTS OFTEN REQUIRE DESIGN INTERPRETATIONS AND REVISIONS TO ACCOUNT FOR ACTUAL FIELD CONDITIONS. THEREFORE, FOR THAT PURPOSE, J2 SHALL BE RETAINED DURING CONSTRUCTION. IF J2 IS NOT RETAINED TO PERFORM THESE SERVICES, THESE PLANS SHALL NOT BE RELIED UPON OR USED FOR ANY PURPOSE WITHOUT WRITTEN APPROVAL FROM J2.

Revisions:		
A	Date	Description

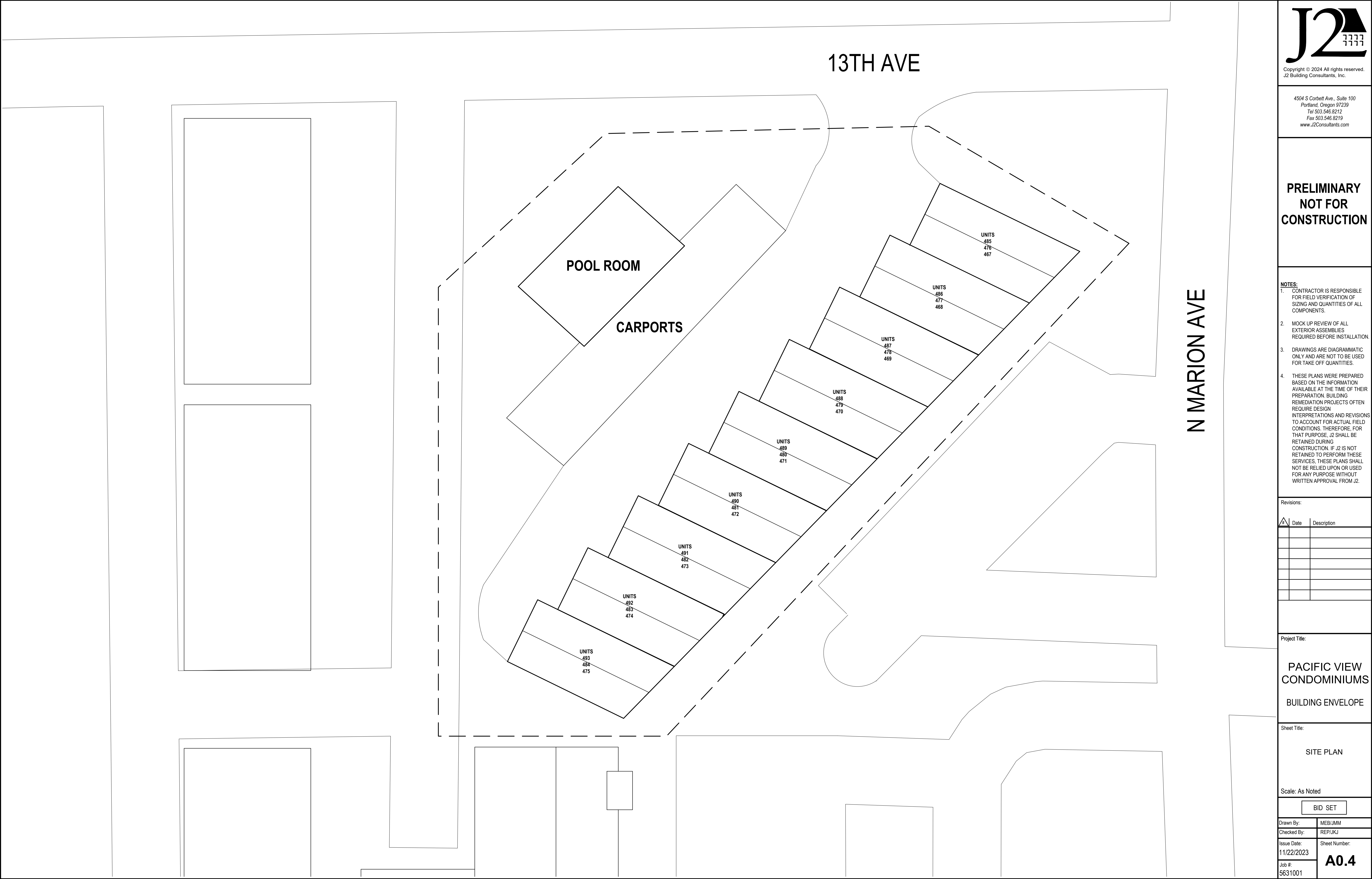
Project Title:

PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

WALL/DECK/ROOF
TYPES





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J2 Building Consultants, Inc.

4504 S Corbett Ave., Suite 100
Portland, Oregon 97239
Tel 503.546.8212
Fax 503.546.8219
www.J2Consultants.com

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Revisions:		
A	Date	Description

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**PACIFIC VIEW
CONDOMINIUMS**

BUILDING ENVELOPE

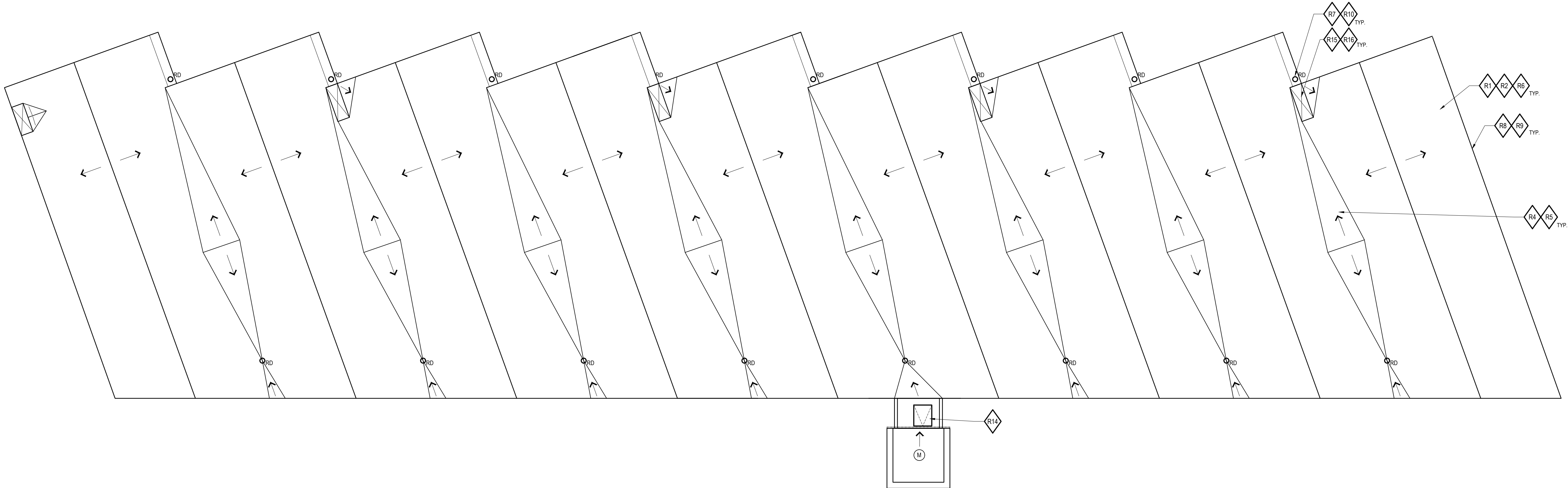
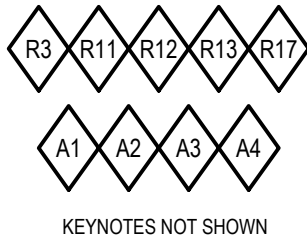
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SITE PLAN

Scale: As Noted

BID SET

Drawn By:	MEB/JMM
Checked By:	REP/JKJ
Issue Date:	11/22/2023
Job #:	5631001
Sheet Number:	A0.4



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A1.1

ROOF PLAN
SCALE: NTS



ROOFING NOTES:

- GENERAL**
1. CONTRACTOR TO REVIEW CONDITION OF EXISTING SHEATHING AND NOTIFY CONSULTANT OF DAMAGE.
 2. CONTRACTOR TO VERIFY CONDITION IN ATTICS (FIRE WALLS, EXHAUST DUCT WORK, ETC.) PRIOR TO MAKING ROOF PENETRATIONS AND COMPLETING ROOFING.
 3. NOTIFY CONSULTANT OF ANY ORGANIC GROWTH, STAINING OR HIGH HUMIDITY CONDITIONS OBSERVED IN THE ATTICS.
 4. INSTALL CRICKETS ON THE UPHILL SIDE OF ALL CHIMNEYS, CURBS, OR WALLS GREATER THAN 30" WIDE AS MEASURED PERPENDICULAR TO THE SLOPE.
 5. ALL HVAC & PLUMBING CONNECTIONS SHALL BE MAINTAINED FROM THE CEILING LEVEL TO THE TOP OF ROOF. ENSURE ALL DUCTS ARE PROPERLY TIGHTLINED TO STEM VENTS VENTS.
 7. CONTRACTOR IS RESPONSIBLE TO ENSURE ROOFTOP EQUIPMENT IS RESTRAINED TO RESIST WIND AND SEISMIC LOADS AS PER INDUSTRY STANDARDS AND/OR MANUFACTURER REQUIREMENTS.
 8. REFER TO SCOPE OF WORK, SHEET A0.2, AND RELEVANT SPECIFICATION SECTIONS FOR ADDITIONAL REQUIREMENTS.

KEY:

- = KEYNOTES - SEE SHEET A0.2
- = SLOPE INDICATOR
- = EXISTING DRAFT STOP
- = EXISTING FIRE WALL
- = AREA DESIGNATOR
- = EXISTING CHIMNEY (CRICKETS, DIVERTERS AND CAPS PER SCOPE SHEET A0.2)
- = NEW ROOF HATCH LOCATION
- = NEW RIDGE VENT; REF. PLAN FOR DIMENSIONS ----- = (18 SQ IN. NFVA/ LINEAR FT)
- = NEW 2" SOFFIT STRIP VENT; REF. PLAN FOR DIMENSIONS = (9 SQ IN. NFVA/ LINEAR FT)
- = NEW EV223 INTAKE VENT AT EAVE ----- = (34 SQ. IN. NFVA)
- = NEW ATTIC EXHAUST VENT ("BOX VENT") ----- = (50 SQ IN. NFVA)
- = EXISTING ROOF DRAIN, TO BE REPLACED
- = EXISTING OVERFLOW DRAIN, TO BE REPLACED
- = EXISTING SCUPPER, TO BE REPLACED
- = NEW WALKING PAD
- = MECHANICAL UNIT
- = GUTTER EDGE

NOTE:
LOCATIONS OF VENTS, AND FIRE WALLS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

VENTS SHOWN ON PLANS ARE FOR ATTIC VENTILATION ONLY. CONTRACTOR TO FIELD VERIFY LOCATIONS OF VENTS FOR HVAC, PLUMBING, RADON ETC. AND REPLACE PER SPECIFICATIONS.

BLOCK ALL EXISTING INTAKE VENTS TO ATTIC SPACES

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Revisions:

Δ	Date	Description

Project Title:

**PACIFIC VIEW
CONDOMINIUMS**
BUILDING ENVELOPE

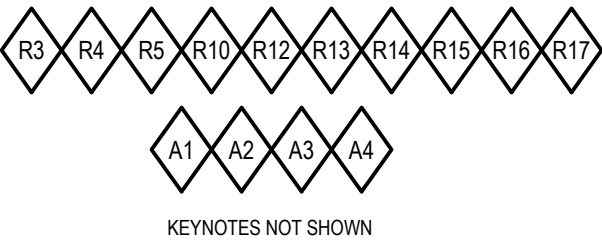
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ROOF PLAN

Scale: As Noted

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Drawn By:	MEB/JMM
Checked By:	REP/KJK
Issue Date:	11/22/2023
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1. CONTRACTOR TO REVIEW CONDITION OF EXISTING SHEATHING AND NOTIFY CONSULTANT OF DAMAGE.
2. CONTRACTOR TO VERIFY CONDITION IN ATTICS (FIRE WALLS, EXHAUST DUCT WORK, ETC.) PRIOR TO MAKING ROOF PENETRATIONS AND COMPLETING ROOFING.
3. NOTIFY CONSULTANT OF ANY ORGANIC GROWTH, STAINING OR HIGH HUMIDITY CONDITIONS OBSERVED IN THE ATTICS.
4. INSTALL CRICKETS ON THE UPHILL SIDE OF ALL CHIMNEYS, CURBS, OR WALLS GREATER THAN 30" WIDE AS MEASURED PERPENDICULAR TO THE SLOPE.
5. ALL HVAC & PLUMBING CONNECTIONS SHALL BE MAINTAINED FROM THE CEILING LEVEL TO THE TOP OF ROOF. ENSURE ALL DUCTS ARE PROPERLY TIGHTLINED TO STEM VENTS VENTS.
7. CONTRACTOR IS RESPONSIBLE TO ENSURE ROOFTOP EQUIPMENT IS RESTRAINED TO RESIST WIND AND SEISMIC LOADS AS PER INDUSTRY STANDARDS AND/OR MANUFACTURER REQUIREMENTS.
8. REFER TO SCOPE OF WORK, SHEET A0.2, AND RELEVANT SPECIFICATION SECTIONS FOR ADDITIONAL REQUIREMENTS.

KEY:

- = KEYNOTES - SEE SHEET A0.2
- = SLOPE INDICATOR
- = EXISTING DRAFT STOP
- = EXISTING FIRE WALL
- = AREA DESIGNATOR
- = EXISTING CHIMNEY (CRICKETS, DIVERTERS AND CAPS PER SCOPE SHEET A0.2)
- = NEW ROOF HATCH LOCATION
- = NEW RIDGE VENT; REF. PLAN FOR DIMENSIONS = (18 SQ IN. NFVA/ LINEAR FT)
- = NEW 2" SOFFIT STRIP VENT; REF. PLAN FOR DIMENSIONS = (9 SQ IN. NFVA/ LINEAR FT)
- = NEW EV223 INTAKE VENT AT EAVE = (34 SQ. IN. NFVA)
- = NEW ATTIC EXHAUST VENT ('BOX VENT') = (50 SQ IN. NFVA)
- = EXISTING ROOF DRAIN, TO BE REPLACED
- = EXISTING OVERFLOW DRAIN, TO BE REPLACED
- = EXISTING SCUPPER, TO BE REPLACED
- = NEW WALKING PAD
- = MECHANICAL UNIT
- = GUTTER EDGE

NOTE:
LOCATIONS OF VENTS, AND FIRE WALLS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

VENTS SHOWN ON PLANS ARE FOR ATTIC VENTILATION ONLY. CONTRACTOR TO FIELD VERIFY LOCATIONS OF VENTS FOR HVAC, PLUMBING, RADON ETC. AND REPLACE PER SPECIFICATIONS.

BLOCK ALL EXISTING INTAKE VENTS TO ATTIC SPACES

PRELIMINARY
NOT FOR
CONSTRUCTION

NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF SIZING AND QUANTITIES OF ALL COMPONENTS.
2. MOCK UP REVIEW OF ALL EXTERIOR ASSEMBLIES REQUIRED BEFORE INSTALLATION.
3. DRAWINGS ARE DIAGRAMMATIC ONLY AND ARE NOT TO BE USED FOR TAKE OFF QUANTITIES.
4. THESE PLANS WERE PREPARED BASED ON THE INFORMATION AVAILABLE AT THE TIME OF THEIR PREPARATION. BUILDING REMEDIATION PROJECTS OFTEN REQUIRE DESIGN INTERPRETATIONS AND REVISIONS TO ACCOUNT FOR ACTUAL FIELD CONDITIONS. THEREFORE, FOR THAT PURPOSE, J2 SHALL BE RETAINED DURING CONSTRUCTION. IF J2 IS NOT RETAINED TO PERFORM THESE SERVICES, THESE PLANS SHALL NOT BE RELIED UPON OR USED FOR ANY PURPOSE WITHOUT WRITTEN APPROVAL FROM J2.

Revisions:

A	Date	Description

Project Title:

PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

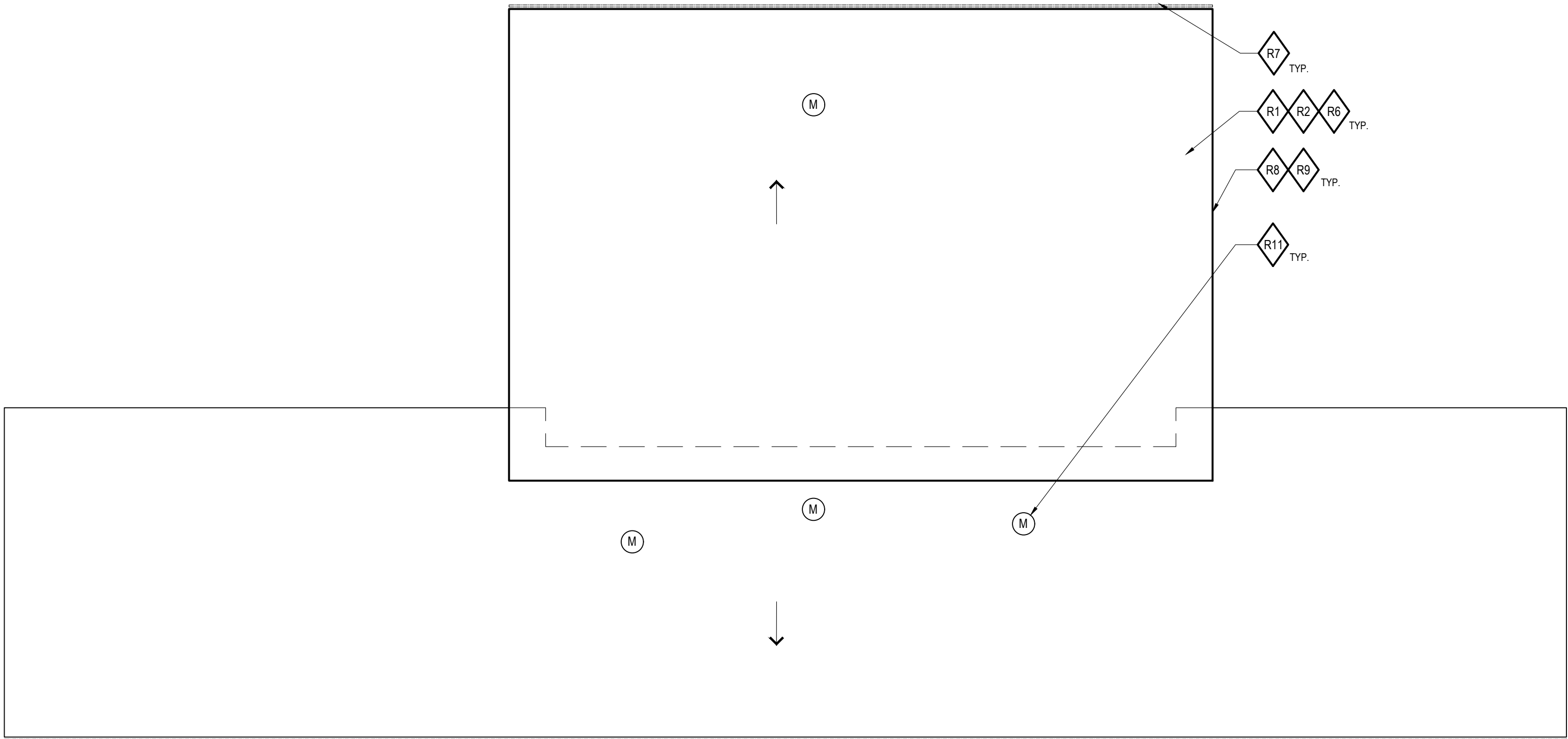
ROOF PLAN

Scale: As Noted

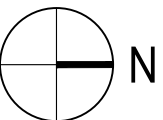
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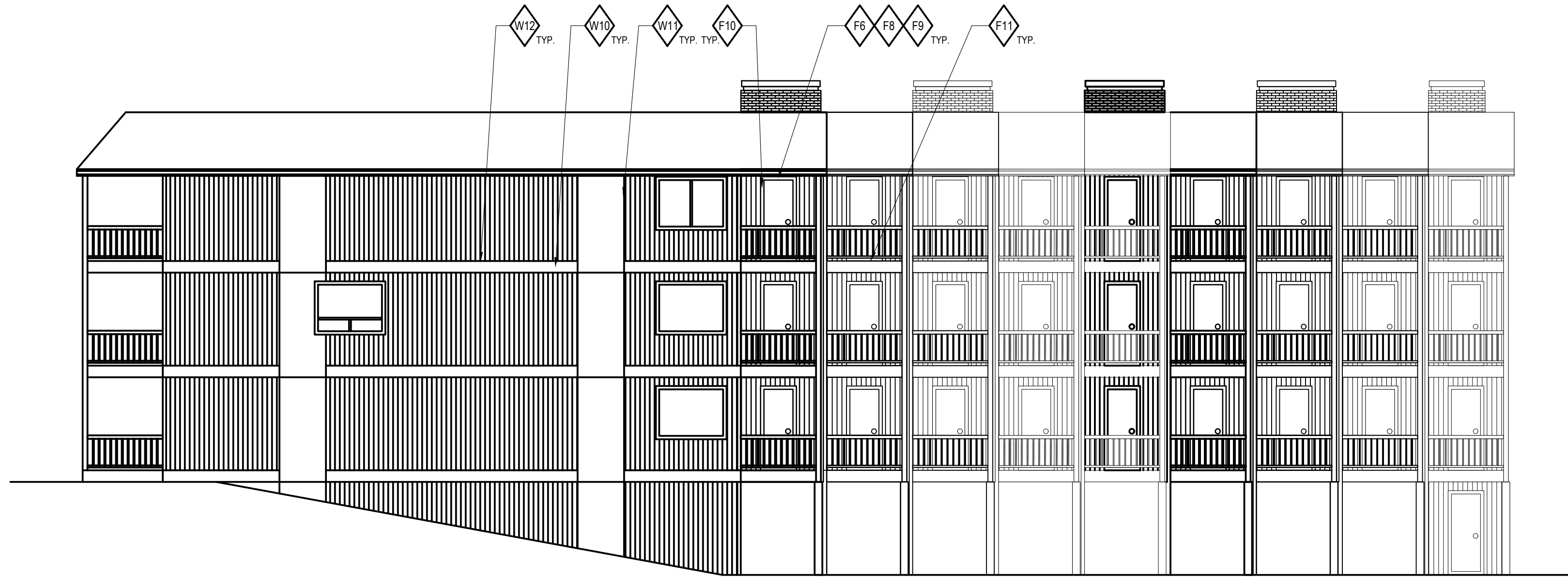
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Checked By:	REPIJKJ
Issue Date:	Sheet Number:
11/22/2023	
Job #:	
5631001	

A1.2



1 ROOF PLAN - CLUBHOUSE
A1.2 SCALE: NTS





KEYNOTES ABOVE ARE NOT SHOWN ON ELEVATION SHEETS

SEE ADDITIONAL KEYNOTES ON A2.2
SEE ROOF KEYNOTES SHOWN ON A1.1 - A1.2

KEY

D1

=

WALL / DECK / ROOF TYPE. SEE SHEET A0.3

D1

=

KEY NOTES. SEE SHEET A0.2

NOTE:

DRAWINGS ARE FOR DIAGRAMATIC PURPOSES. CONTRACTOR TO VERIFY ALL DIMENSIONS, WINDOW AND DOOR TYPES/OPERATION AND LOCATIONS AND OTHER EXISTING CONDITIONS

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4504 S Corbett Ave., Suite 100
Portland, Oregon 97239
Tel 503.546.8212
Fax 503.546.8219
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Revisions:		
Δ	Date	Description

Project Title:

PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

ELEVATIONS

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Issue Date:	Sheet Number: A2.1
Job #:	
5631001	

1 BUILDING A - NORTH ELEVATION
A2.1 SCALE: NTS



2 BUILDING A - EAST ELEVATION
A2.1 SCALE: NTS

KEY

D1

=

WALL / DECK / ROOF TYPE. SEE SHEET A0.3

D

=

KEY NOTES. SEE SHEET A0.2

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Fax 503.546.8219
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Revisions:		
Δ	Date	Description

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CONDOMINIUMS

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Issue Date:	Sheet Number:
11/22/2023	A2.2
Job #:	5631001



1 BUILDING A - SOUTH ELEVATION
A2.2 SCALE: NTS



2 BUILDING A - WEST ELEVATION
A2.2 SCALE: NTS

KEY

D1

= WALL / DECK / ROOF TYPE. SEE SHEET A0.3

D

= KEY NOTES. SEE SHEET A0.2

NOTE: DRAWINGS ARE FOR DIAGRAMATIC PURPOSES.
CONTRACTOR TO VERIFY ALL DIMENSIONS, WINDOW AND DOOR TYPES, OPERATION AND LOCATIONS AND OTHER EXISTING CONDITIONS

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Tel 503.546.8212
Fax 503.546.8219
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4. THESE PLANS WERE PREPARED BASED ON THE INFORMATION AVAILABLE AT THE TIME OF THEIR PREPARATION. BUILDING REMEDIATION PROJECTS OFTEN REQUIRE DESIGN INTERPRETATIONS AND REVISIONS TO ACCOUNT FOR ACTUAL FIELD CONDITIONS. THEREFORE, FOR THAT PURPOSE, J2 SHALL BE RETAINED DURING CONSTRUCTION. IF J2 IS NOT RETAINED TO PERFORM THESE SERVICES, THESE PLANS SHALL NOT BE RELIED UPON OR USED FOR ANY PURPOSE WITHOUT WRITTEN APPROVAL FROM J2.

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Drawn By:

MEB/JMM

Checked By:

REPI/KJ

Issue Date:

11/22/2023

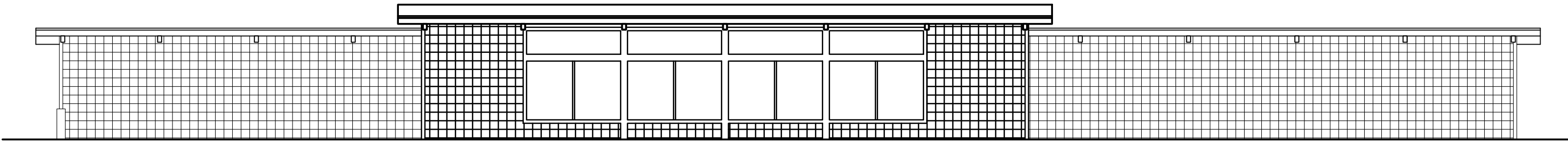
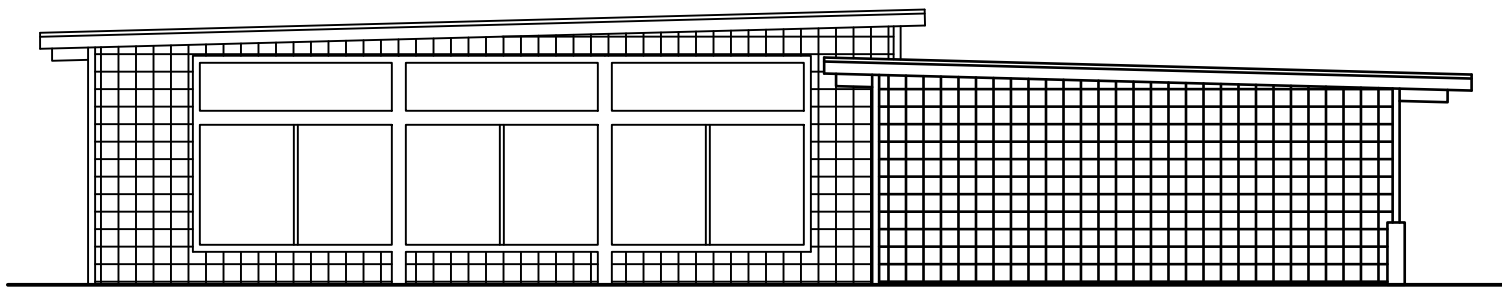
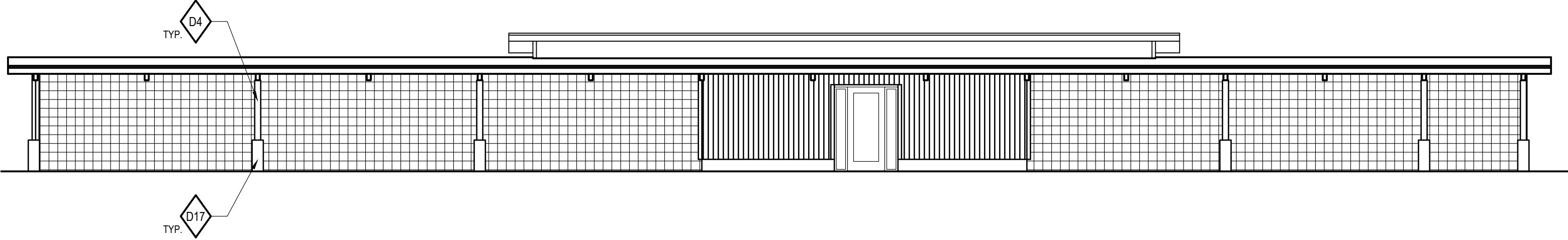
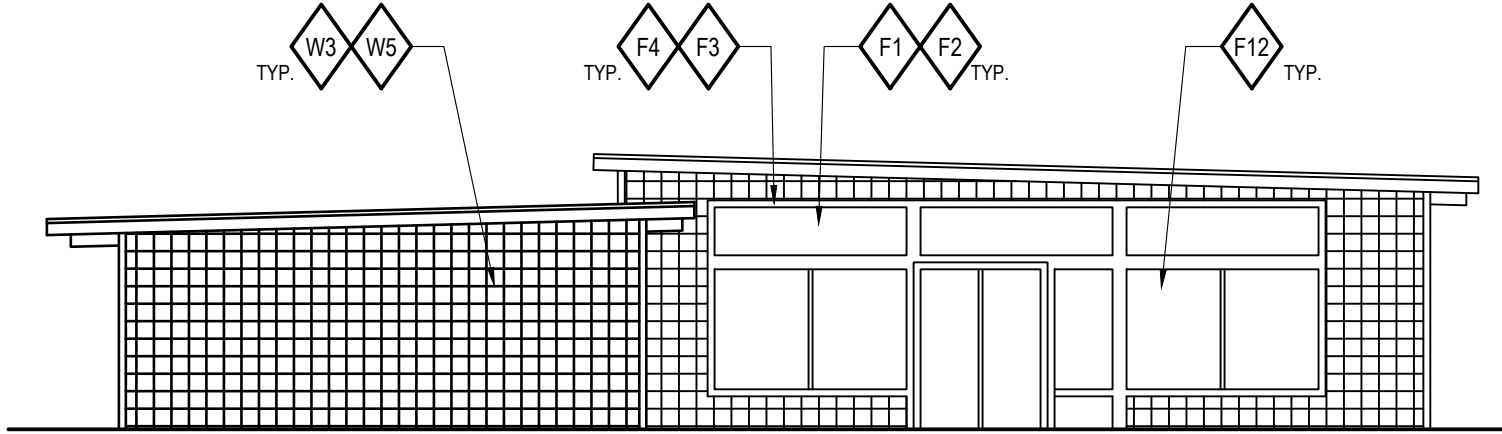
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A2.3

SEE ROOF KEYNOTES SHOWN ON A1.1 - A1.2



GENERAL STRUCTURAL NOTES (NEW WORK):

CODE:	
2022 OSSC (2021 INTERNATIONAL BUILDING CODE W/ OREGON AMENDMENTS)	
LOADS:	
RISK CATEGORY:	II
SNOW:	ASD GROUND SNOW = 3 PSF
FLOOR LIVE:	60 PSF PRIVATE DECKS (100 PSF CORRIDORS AND EXITS)
SEISMIC:	CATEGORY D; SITE SOIL CLASS = DEFAULT; S _{0.6} = 1.1
WIND:	WIND SPEED = 120vmph; EXPOSURE = D; K _{zT} = DEFAULT
SOIL:	ALLOWABLE BEARING = 1,500 PSF (TYP.)

GENERAL HARDWARE AND FASTENERS:	
ALL EXPOSED FASTENERS AND HARDWARE TO BE STAINLESS STEEL 316.	
ALL FASTENERS AND HARDWARE COVERED BY AN APPROVED WEATHER BARRIER TO BE A MINIMUM OF SIMPSON ZMAX AND/OR HDG185. THIS NOTE SUPERCEDES ALL NOTES TO FOLLOW	

- WOOD:
- ALL NAILS MAY BE BOX NAILS (SINKERS) EXCEPT AS NOTED. USE HOT DIPPED GALVANIZED NAILS INTO ALL PRESSURE TREATED LUMBER AND EXPOSED LOCATIONS.
 - ALL NAILING TO BE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE TABLE 2304.9.7 UNLESS NOTED OTHERWISE.
 - ALL JOIST HANGERS AND FRAMING HARDWARE SHALL BE SIMPSON "STRONG TIE" OR APPROVED EQUAL. WHERE CONNECTION IS NOT DETAILED, PROVIDE APPROPRIATE CONNECTOR PER MANUFACTURERS RECOMMENDATION. USE STAINLESS STEEL AT ALL EXPOSED LOCATIONS.
 - LUMBER:
 - ALL SOLID SAWN LUMBER GRADES TO BE DFL#2 OR BETTER
 - ALL WOOD IN PERMANENT CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
 - PRESSURE TREATED LUMBER TO BE HEMFIR #2 OR BETTER.
 - ALL GLULAM BEAMS TO BE 24F-V4 DF UNLESS NOTED OTHERWISE.
 - ALL LVL LUMBER SHALL BE 1.9E WS MICROLLAM LVL OR EQUIVALENT.
 - ALL PSL LUMBER SHALL BE 2.0E WS PARALLAM PSL OR EQUIVALENT.
 - DRILL BOLT HOLES 1/16 INCH OVERSIZED. LEAD HOLES FOR LAG SCREWS TO BE 1/8" UNDERSIZED. USE STANDARD CUT WASHERS ON ALL BOLTS AND LAG SCREWS.
 - MAXIMUM MOISTURE CONTENT OF WOOD TO BE 19%.
 - DOUBLE TOP PLATES ON EXTERIOR AND BEARING PARTITIONS SHALL LAP 48" MIN. AT SPLICES AND HAVE (12) 16d MIN. AT SPLICES EXCEPT AS NOTED.
 - PROVIDE SOLID BLOCKING BETWEEN JOISTS/RAFTERS OVER SUPPORTS.
 - ROOF SHEATHING: USE 5/8" EXPOSURE 1, C-D (APA 24/0) PLYWOOD, OR APPROVED EQUIVALENT. LONG DIMENSION SHALL BE PERPENDICULAR TO FRAMING MEMBERS AND END JOINTS STAGGERED. USE 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN THE FIELD UNLESS OTHERWISE NOTED.
 - FLOOR SHEATHING: USE 3/4" C-D (APA 32/16) PLYWOOD OR APPROVED EQUIVALENT. LONG DIMENSION SHALL BE PERPENDICULAR TO FRAMING MEMBERS AND END JOINTS STAGGERED. USE 10d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN THE FIELD UNLESS OTHERWISE NOTED.
 - WALL SHEATHING: USE 7/16" EXPOSURE 1, C-D (APA 24/0) PLYWOOD, OR APPROVED EQUIVALENT. LONG DIMENSION SHALL BE PERPENDICULAR TO TOP AND BOTTOM PLATES AND PANEL EDGES TO BE FULLY BLOCKED. USE 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND 12" O.C. IN THE FIELD UNLESS OTHERWISE NOTED.
 - ROOF, FLOOR AND WALL SHEATHING SHALL HAVE A 1/8" GAP AT PANEL EDGES, OR AS OTHERWISE RECOMMENDED BY THE AMERICAN PLYWOOD ASSOCIATION, TO ALLOW FOR EXPANSION AND CONTRACTION.
 - PRESERVATIVE TREATED WOOD: ALL WOOD IN CONTACT WITH CONCRETE, EXPOSED TO WEATHER, SOIL, WATER OR INTERIOR HIGH MOISTURE CONDITIONS SHALL BE PRESERVATIVE TREATED OR SHALL BE OF NATURALLY DURABLE SPECIES. PRESERVATIVE TREATMENT SHALL MEET THE REQUIREMENTS OF AWPA FOR THE APPLICABLE USE CATEGORIES. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE PRESERVATIVE TREATED WOOD IS RATED FOR THE USE REQUIREMENTS FOR EACH APPLICATION DESCRIBED AS FOLLOWS:
 - UC1: INTERIOR USE AND INSECT PROTECTION ONLY
 - UC2: INTERIOR DAMP CONDITIONS
 - UC3A: EXTERIOR USE, NO GROUND CONTACT AND PROTECTED FROM WEATHER
 - UC3B: EXTERIOR USE, NO GROUND CONTACT BUT EXPOSED TO WEATHER
 - UC4A: GROUND AND/OR FRESH WATER CONTACT
 - UC4B: HEAVY DUTY GROUND AND/OR FRESH WATER CONTACT
 - UC5A: BRACKISH OR SALT WATER EXPOSURE
 - FIELD TREATMENT: ALL CUTS, HOLES, AND INJURIES SUCH AS ABRASIONS OR REMOVAL OF NAILS AND SPIKES OR OTHER DAMAGE TO THE TREATED ZONE SHALL BE FIELD TREATED WITH A WOOD PRESERVATIVE THAT MEETS AWPA STANDARD M4. APPLY TREATMENT PER MANUFACTURERS INSTRUCTIONS.

- CONCRETE:
- ALL CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH ACI 318. USE MIXES WITH MAXIMUM AGGREGATE SIZE APPROPRIATE FOR FORM AND REBAR CLEARANCES TO BE ENCOUNTERED. (SEE ACI)
 - THE PROPOSED MIX DESIGN AND MATERIALS SHALL BE FULLY DOCUMENTED AND REVIEWED BY THE OWNERS TESTING LABORATORY. RESPONSIBILITY FOR ACHIEVING THE REQUIRED STRENGTH IS THE CONTRACTORS.
 - MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AFTER 28 DAYS: 3,000 PSI FOR SLABS ON GRADE, FOOTINGS AND WALLS. 4,000 PSI FOR BEAMS AND FIRST FLOOR SLAB. 5,000 PSI FOR COLUMNS. SCHEDULE OF WORK MAY REQUIRE DESIGN STRENGTH IN SHORTER PERIOD OF TIME (LESS THAN 28 DAYS).
 - PORTLAND CEMENT SHALL CONFORM TO A.S.T.M. C-150 TYPE 1 OR TYPE 2 LOW ALKALI, TYPICAL UNLESS NOTED OTHERWISE.
 - AGGREGATE FOR HARD ROCK CONCRETE SHALL CONFORM TO ALL REQUIREMENT SAND TESTS OF A.S.T.M C-33.
 - MAXIMUM SLUMP SHALL BE FOUR INCHES UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR-ENTRAINED PER ACI 4.2.
 - DIMENSIONS SHOWN OR NOT SHOWN ON PLANS REGARDING CURBS, OPENINGS, SLOPES AND DEPRESSED AREAS AT CONCRETE SLAB AND WALLS SHALL BE VERIFIED WITH ARCHITECTURAL DRAWINGS BEFORE PLACING CONCRETE.

- REINFORCING:
- ALL REINFORCING STEEL SHALL BE PLACED IN CONFORMANCE WITH ACI 318 AND THE ACI DETAILING MANUAL.
 - GRADE:
 - A. DEFORMED BARS ASTM A615, GRADE 60.
 - B. WELDED WIRE FABRIC PER ASTM A185.
 - PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS. STAGGER SPLICES WHERE POSSIBLE.
 - CLEAR CONCRETE COVERAGE AS FOLLOWS:
 - A. CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH---3"
 - B. EXPOSED TO EARTH OR WEATHER
 - #6 OR LARGER-----2"
 - #5 OR SMALLER-----1 1/2"
 - C. ALL OTHERS PER LATEST EDITION OF ACI 318
 - LAP LENGTHS ARE AS FOLLOWS (CLASS B - EXCEPT AS NOTED):
 - #4'S -----20"
 - #5'S -----24"
 - #6'S -----28"
 - MAINTAIN 1 1/2" CLEAR MINIMUM BETWEEN PARALLEL BARS.
 - ALL REINFORCING STEEL AND EMBEDMENTS SHALL BE HELD SECURELY IN PLACE PRIOR TO PLACING CONCRETE. PROVIDE SUFFICIENT SUPPORTS TO ALLOW WALKING ON REINFORCEMENT. NO BRICK OR POROUS MATERIAL SHALL BE USED TO SUPPORT REINFORCING.
 - ALL SLABS ON EARTH SHALL HAVE JOINTS INSTALLED TO PROVIDE APPROXIMATELY 25' SQUARES, UNLESS DETAILED OTHERWISE ON THE PLAN. WHERE CONCRETE POURS ARE STOPPED,THE JOINT SHALL BE FORMED PER TYPICAL CONSTRUCTION JOINT DETAIL 9/S2.

- METALS:
- ALL STRUCTURAL STEEL TO BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
 - STEEL BEAMS AND ALL MISCELLANEOUS STRUCTURAL STEEL TO BE ASTM A36, Fy=36 KSI, UNLESS NOTED OTHERWISE.
 - TUBES TO BE ASTM A500 - GRADE B, Fy=48 KSI; PIPES ASTM A53 GRADE B, Fy=48 KSI.
 - BOLTS TO BE ASTM A307, UNLESS NOTED OTHERWISE.
 - WELDING TO BE BY CERTIFIED WELDERS USING E70XX ELECTRODES IN ACCORDANCE WITH AWS STANDARDS.
 - ALL STEEL TO HAVE A SHOP COAT. ALL STEEL EXPOSED TO WEATHER SHALL BE GALVANIZED UNLESS OTHERWISE NOTED.
 - STEEL FABRICATOR TO SUBMIT SHOP DRAWINGS TO A/E FOR REVIEW PRIOR TO FABRICATION.
 - STEEL WASHERS TO BE USED AT ALL BOLTED CONNECTIONS.
 - ALL ADHESIVE ANCHORS TO BE ASTM A36 STEEL THREADED ROD W/ SIMPSON SET3G, SET-XP OR AT-XP (FOR COLD TEMPERATURES) EPOXY ADHESIVE OR EQUIVALENT INSTALLED ACCORDING TO MANUFACTURES SPECIFICATIONS.

- GENERAL:
- THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING OF THE LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE A/E SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH A/E.
 - CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOOR OR ROOF. LOADS SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
 - WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS, SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDUM.
 - ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL AND WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
 - WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.
 - CONTRACTOR SHALL COORDINATE WITH OWNER'S SPECIAL INSPECTOR FOR ANY INSPECTION REQUIRED BY VARIOUS CODES OR MANUFACTURER'S REQUIREMENTS. THIS INCLUDES BUT IS NOT LIMITED TO: EPOXY ANCHOR INSTALLATION, STEEL FABRICATION INSTALLATION, CONCRETE & REBAR PLACEMENT AND OTHERS AS REQUIRED.

- ENGINEER'S REVIEW OF SHOP DRAWINGS:
- THE REVIEW BY THE ENGINEER, OF DRAWINGS, DATA AND SAMPLES SUBMITTED BY THE CONTRACTOR WILL COVER ONLY GENERAL CONFORMITY TO THE DRAWING AND SPECIFICATIONS. THE ENGINEER'S REVIEW WILL NOT CONSTITUTE AN APPROVAL OF DIMENSIONS, QUANTITIES AND DETAILS OF THE MATERIAL, EQUIPMENT, DEVICE OR ITEM SHOWN. THE REVIEW OF DRAWINGS AND SCHEDULES WILL BE GENERAL, AND SHALL NOT BE CONSTRUED:
 - A. AS PERMITTING ANY DEPARTURE FROM THE CONTRACT REQUIREMENTS.
 - B. AS RELIEVING THE CONTRACTOR OF RESPONSIBILITY FOR ANY ERRORS, INCLUDING DETAILS, DIMENSIONS AND MATERIALS.
 - C. AS APPROVING DEPARTURES FROM DETAILS FURNISHED BY THE ENGINEER, EXCEPT AS OTHERWISE PROVIDED HEREIN.
 - APPROVAL SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR DETAILS OF DESIGN, CORRECT DIMENSIONS FOR PROPER FITTING, CAPACITY, PERFORMANCE, CONSTRUCTION, OR ANY OTHER REQUIREMENT OF THE CONTRACT.
 - SHOP DRAWINGS SHALL BE DATED AND SIGNED BY THE CONTRACTOR AND BY THE SUPPLIER BEFORE SUBMITTING TO THE ENGINEER. NON COMPLIANCE WILL CAUSE REJECTION WITHOUT REVIEWING.
 - THREE COPIES OF SHOP DRAWINGS ARE REQUIRED FOR FILES IN ADDITION TO THE AMOUNT OF COPIES REQUIRED BY THE CONTRACTOR. NON COMPLIANCE WILL CAUSE REJECTION WITHOUT REVIEWING.
 - SEE SPECS, SECTION 01340 FOR FURTHER SHOP DRAWING REQUIREMENTS.
 - WHEN SUBMITTING CONCRETE MIX SHOP DRAWINGS THE CONTRACTOR SHALL INDICATE CLEARLY WHERE THE CONCRETE MIX WILL BE USED.

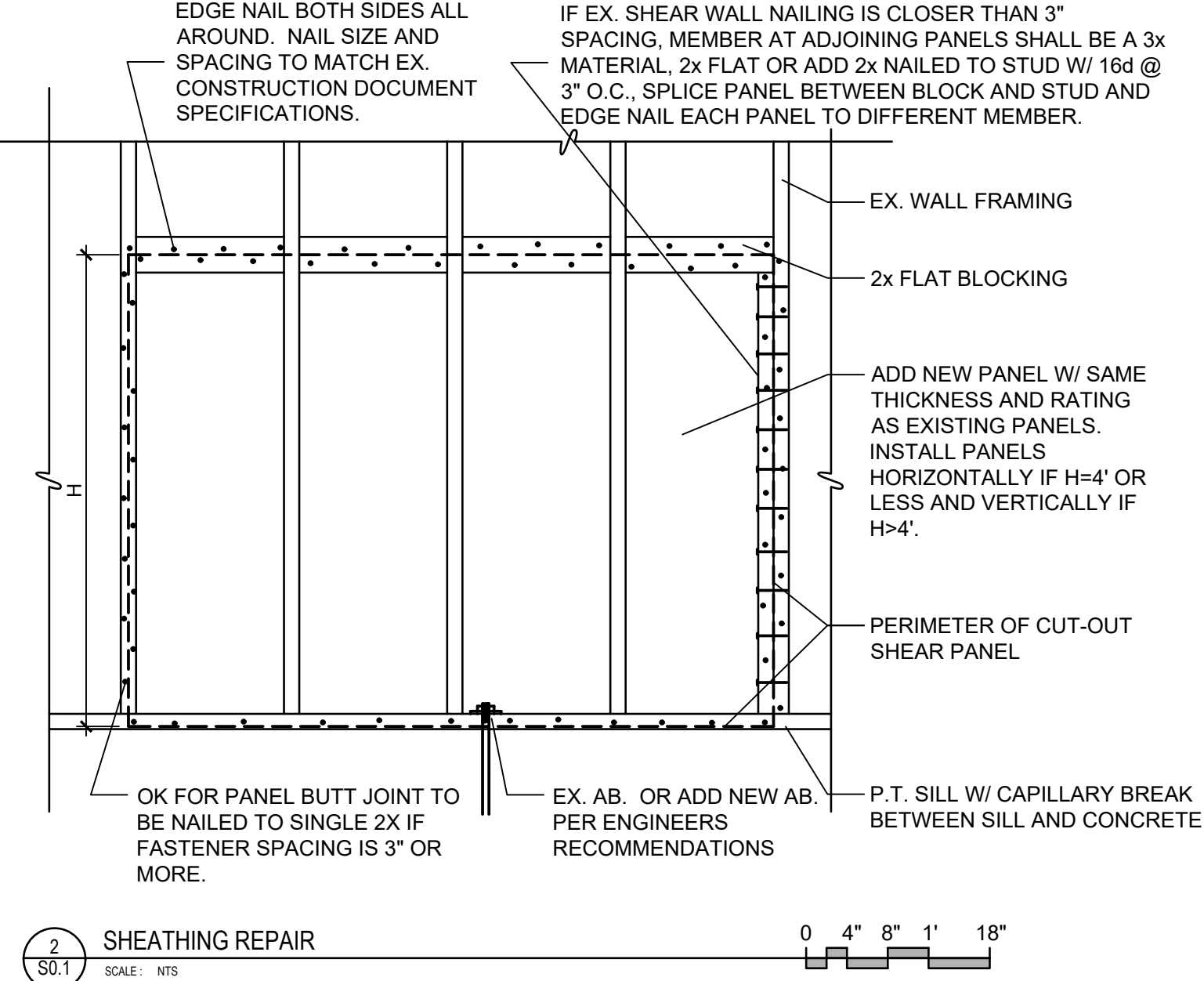
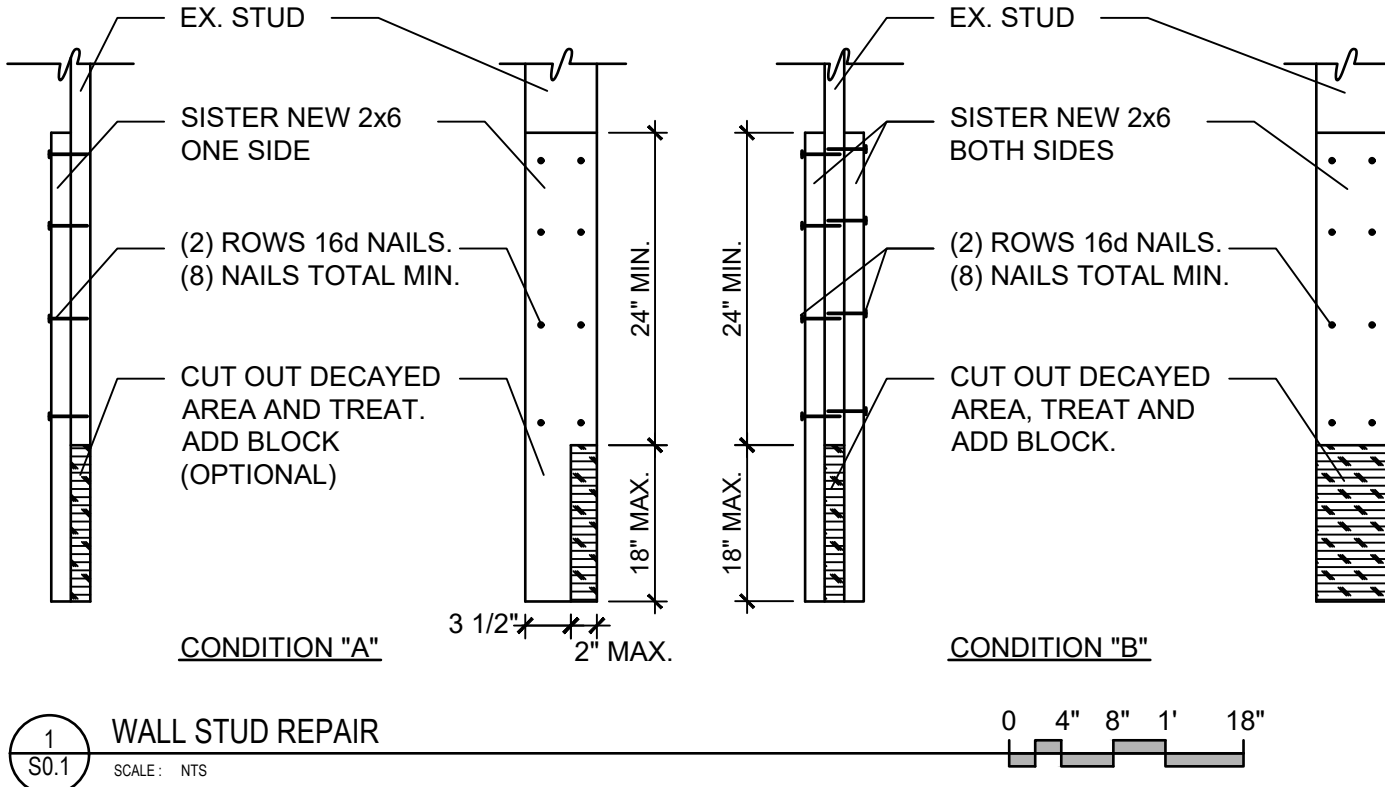
STRUCTURAL REMEDIATION GUIDELINES:

- GENERAL:
- THE FOLLOWING ARE GUIDELINES TO REPAIR DAMAGED STRUCTURAL AND NON STRUCTURAL FRAMING AND SHEATHING. REFER TO THE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION ON MINIMUM MATERIAL REQUIREMENTS FOR REPLACED MATERIALS.
- ALL WOOD DECAY IS TO BE REMOVED FROM EVERY PART OF THE STRUCTURE.
- ALL FRAMING THAT HAS HAD DECAY REMOVED, HAS BEEN EXPOSED TO MOISTURE OR IS ADJACENT TO A DECAYED MEMBER IS TO BE TREATED WITH TWO COATS OF AN APPROVED FUNGICIDE IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- ALL NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED.
- IN THE EVENT THAT STRUCTURAL FRAMING IS REPLACED, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR TEMPORARY SHORING OR SHALL NOTIFY A/E THAT SHORING RECOMMENDATIONS ARE NEEDED.

- WOOD FRAMING:
- FOR SOLID SAWN LUMBER, IF WOOD DECAY IS LIMITED TO 1/2" DEEP AND IS NOT LOCATED WHERE THE MEMBER IS BEARING ON ANOTHER MEMBER, IT CAN BE REMOVED, TREATED AND THE WOOD MEMBER CAN REMAIN. IF WOOD DECAY IS DEEPER THAN 1/2" DEEP, OR IF DECAY EXISTS WHERE THE MEMBER BEARS ON ANOTHER MEMBER, THE WOOD MEMBER SHALL BE REPLACED WITH IN KIND, REPAIRED AS SHOWN ON DETAILS THIS PAGE OR SHALL BE EVALUATED BY A/E ON A CASE BY CASE BASIS.
- ALL REPLACED FRAMING AND HARDWARE SHALL BE SIMPSON STRONG-TIE OR EQ. AND INSTALLED IN ACCORDANCE WITH THE ORIGINAL CONSTRUCTION DOCUMENTS, THESE REMEDIATION DOCUMENTS, 2009 IBC REQUIREMENTS OR WHICHEVER IS MORE STRINGENT. USE STAINLESS STEEL HARDWARE AT ALL EXPOSED LOCATIONS.
- DECAYED STUDS SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH DETAIL 1 BELOW.
- DECAYED KING STUDS, HOLDDOWN POSTS AND BEAMS SHALL BE EVALUATED BY A/E ON A CASE BY CASE BASIS.
- FOR NON-SHEAR WALLS, DECAYED BOTTOM PLATES/SILL SHALL BE REPLACED WITH P.T. LUMBER AND ATTACHED AS NOTED IN THE ANCHOR BOLT SECTION.

- SHEATHING:
- CONTACT ENGINEER IF LARGE AREAS OF SIGNIFICANT SHEATHING DAMAGE EXISTS TO SHEAR WALLS OR HORIZONTAL DIAPHRAMS.
- FOR NON SHEAR WALLS OR SMALL ISOLATED AREAS OF DECAYED WALL, FLOOR OR ROOF SHEATHING; REPLACED WITH IN KIND. FASTENING SHALL BE THE SAME AS EXISTING AND NOT LESS THAN THE MINIMUMS SHOWN BELOW. PANEL EDGES SHALL BE BLOCKED W/ 2x4 FLAT BLOCKING. REFER TO DETAIL 2 BELOW. MINIMUM FASTENING REQUIREMENTS ARE AS FOLLOWS:
- 1/2" PAPER FACED GYPSUM WALL BOARD: 5d COOLER OR WALLBOARD @ 7" O.C. TYP.
- 3/8" PAPER FACED GYPSUM WALL BOARD: 6d COOLER OR WALLBOARD @ 7" O.C. TYP.
- 3/8" FIBERGLASS FACED GYPSUM WALL BOARD: 11-GAUGE BY 1-3/4" MIN. GALV. ROOFING NAILS (1/2" HEAD) @ 8" O.C.
- 1/2" (OR 1/4") APA RATED STRUCTURAL PANEL: 8d COMMON OR GALV. BOX @ 6" O.C. PANEL EDGES AND 12" FIELD.
- ANCHOR BOLTS:
- CONTACT ENGINEER IF SIGNIFICANT REPAIRS TO MUDSILLS OR ANCHOR BOLTS ARE REQUIRED. MINIMUM REQUIREMENTS TO BE 1/2" DIAMETER @ 6' O.C.. FOR RETRO-FIT ANCHORS, USE MECHANICALLY GALVANIZED 1/2"x6-1/2" SIMPSON TITEN ANCHORS WITH .229"x3"x3" PLATE WASHERS.

- STEEL CONNECTOR INSPECTION AND REMEDIATION:
- INSPECT STEEL CONNECTOR FOR DAMAGE
 - IF DAMAGED (CRACKED, FRACTURED ETC...) REMOVE AND REPLACE IN KIND
 - IF STEEL IS IN CONTACT WITH INCOMPATIBLE SURFACE (STEEL TO PT WOOD) REMOVE AND REPLACE STEEL CONNECTOR WITH PROTECTED STEEL CONNECTOR COMPATIBLE WITH SURFACE.
 - IF STEEL SHOWS SURFACE DAMAGE (RUST, DISCOLORATION), BUT OVERALL APPEARS COMPETENT GRIND ALL SURFACE DAMAGE OFF AND TEST THE STEEL CONNECTOR WITH ULTRASONIC THICKNESS GAUGE.
 - IF MORE THAN 95% OF THICKNESS OF CONNECTOR REMAINS CLEAN ALL SURFACE DAMAGE AND SPRAY WITH GALVANIZING PAINT OR OTHER PROTECTIVE COATING THAT IS APPROPRIATE TO THE SURROUNDING SURFACES.)
 - IF LESS THAN 95% OF THE THICKNESS REMAINS REMOVE AND REPLACE CONNECTOR WITH AN APPROPRIATE SURFACE.



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Revisions:		
Δ	Date	Description

Project Title:

PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

STRUCTURAL
NOTES

Scale: As Noted	
BID SET	
Drawn By: MEB/JMM	Sheet Number: S0.1
Checked By: REP/JKJ	
Issue Date: 11/22/2023	
Job #: 5631001	

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Revisions:		
#	Date	Description

Project Title:

PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

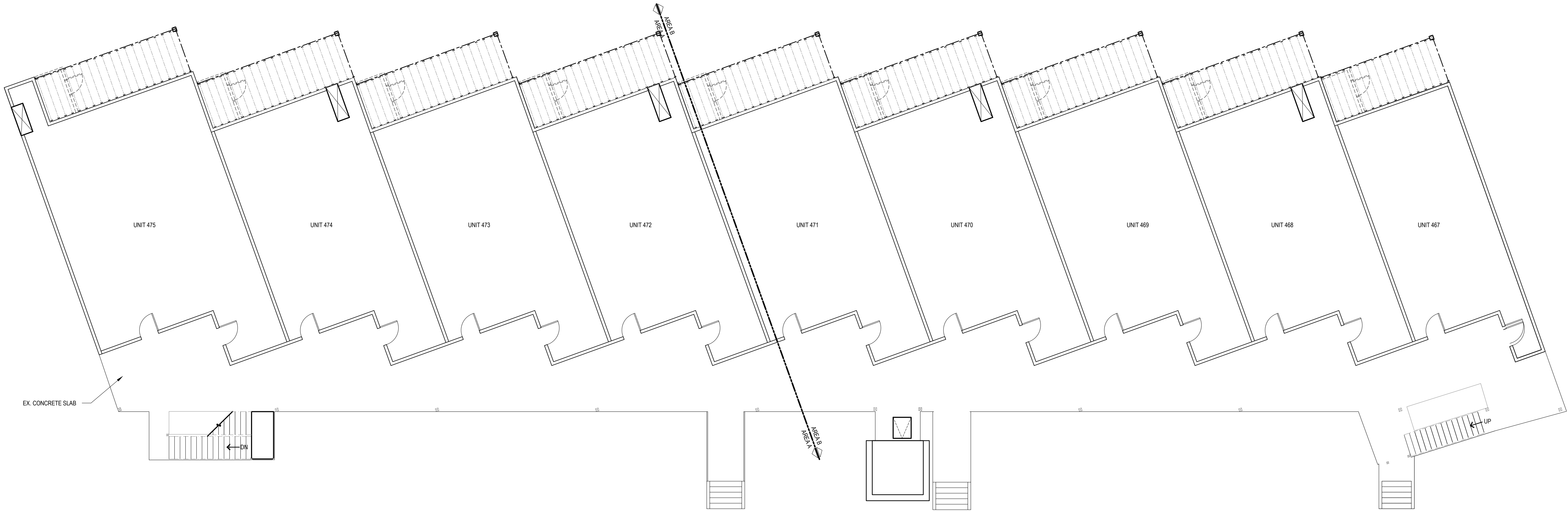
Sheet Title:

FRAMING PLAN

Scale: As Noted

BID SET

Drawn By:	MEB/JMM
Checked By:	REP/JKJ
Issue Date:	Sheet Number:
11/22/2023	
Job #:	S1.1
5631001	



1
S1.1

1ST FLOOR - FRAMING PLAN
SCALE: NTS

N

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Project Title:

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CONDOMINIUMS

BUILDING ENVELOPE

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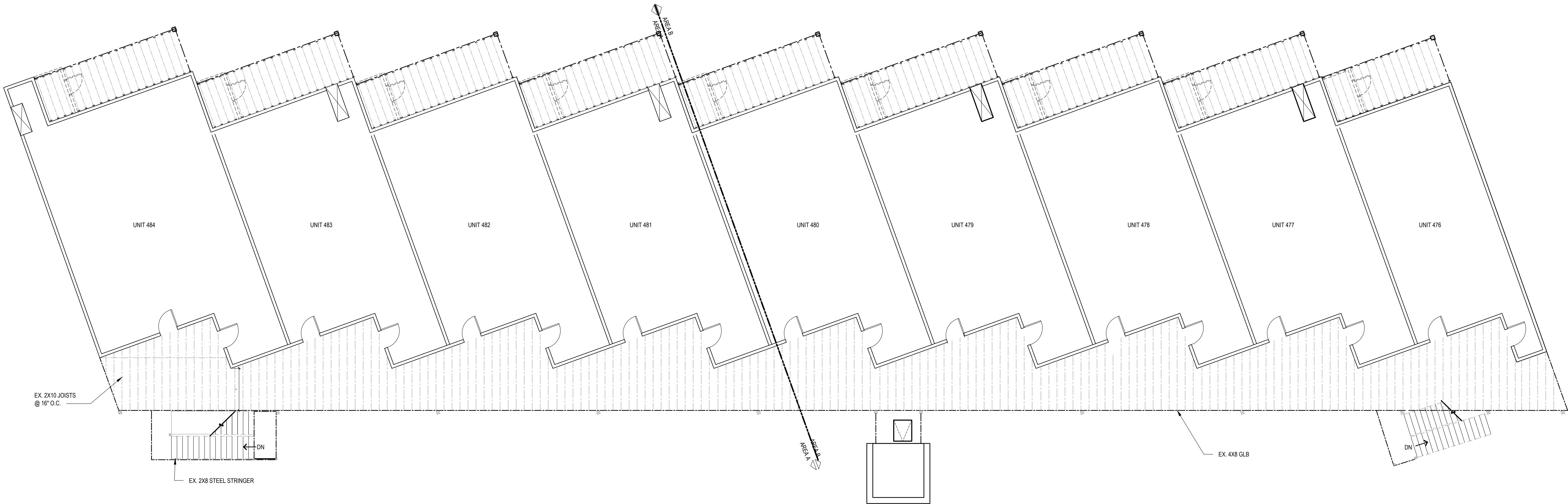
FRAMING PLAN

Scale: As Noted

BID SET	
Drawn By:	MEB/JMM
Checked By:	REP/JKJ
Issue Date:	Sheet Number:
Job #:	S1.2
5631001	

- FOUNDATION & FRAMING PLAN KEY
- EXISTING LOAD BEARING STUD WALL
 - EXISTING STEEL COLUMN
 - NEW COLUMN
 - NEW BEAM
 - EXISTING BEAM
 - EXISTING STAIR STRINGER
 - EXIST. JOIST
 - NEW JOIST

- GENERAL FRAMING NOTES
- DIMENSIONS SHOWN FOR REFERENCE ONLY; CONTRACTOR NOT TO RELY ON THESE DIMENSIONS. FIELD VERIFY
 - REFER TO SHEET S0.1 AND SPECS FOR GENERAL STRUCTURAL REQUIREMENTS
 - REFER TO SHEETS S2.1 FOR STRUCTURAL DETAILS
 - ASSUME ALL FRAMING TO REMAIN EXCEPT AS NOTED (SHEATHING, JOISTS, BEAMS). VERIFY CONDITION AND REPORT DAMAGE TO CONSULTANT



1
S1.2

2ND FLOOR - FRAMING PLAN
SCALE: NTS

N

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PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

FRAMING PLAN

Scale: As Noted

BID SET	
Drawn By:	MEB/JMM
Checked By:	REP/JKJ
Issue Date:	Sheet Number:
Job #:	S1.3
5631001	

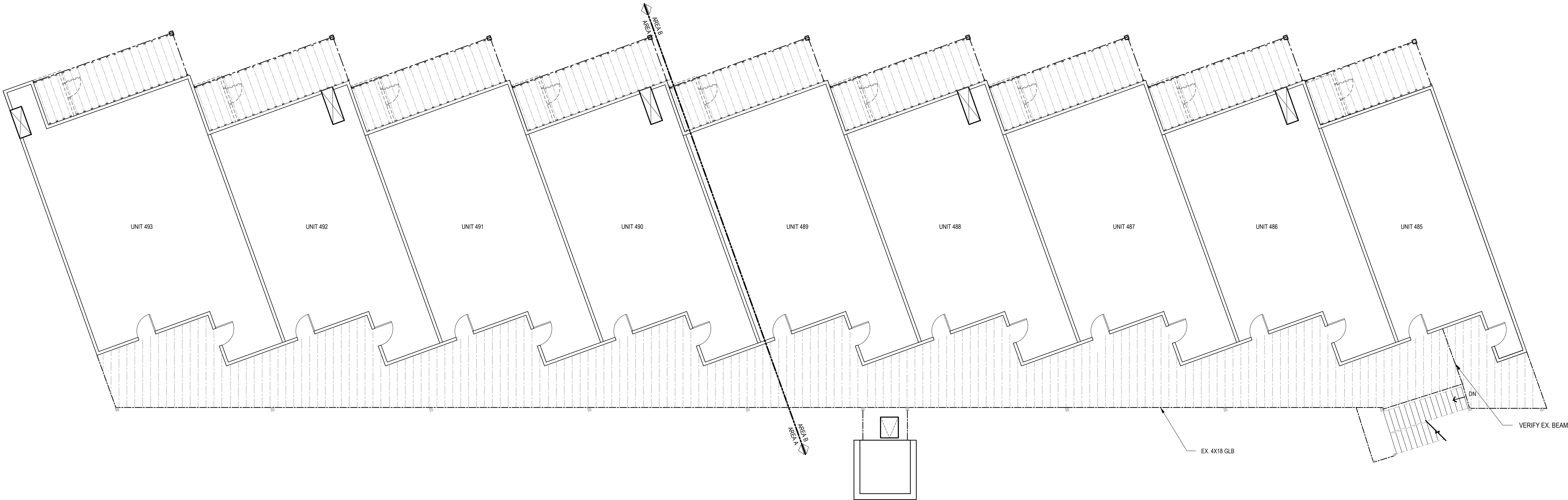
- FOUNDATION & FRAMING PLAN KEY
- = EXISTING LOAD BEARING STUD WALL
- = EXISTING STEEL COLUMN
- = NEW COLUMN
- = NEW BEAM
- = EXISTING BEAM
- = EXISTING STAIR STRINGER
- = EXIST. JOIST
- = NEW JOIST

- GENERAL FRAMING NOTES
- DIMENSIONS SHOWN FOR REFERENCE ONLY;
CONTRACTOR NOT TO RELY ON THESE DIMENSIONS.
FIELD VERIFY

REFER TO SHEET S0.1 AND SPECS FOR GENERAL
STRUCTURAL REQUIREMENTS

REFER TO SHEETS S2.1 FOR STRUCTURAL DETAILS

ASSUME ALL FRAMING TO REMAIN EXCEPT AS NOTED
(SHEATHING, JOISTS, BEAMS). VERIFY CONDITION AND
REPORT DAMAGE TO CONSULTANT



1
S1.3

3RD FLOOR - FRAMING PLAN
SCALE: NTS

N

FOUNDATION & FRAMING PLAN KEY

-  = EXISTING LOAD BEARING STUD WALL
-  = EXISTING STEEL COLUMN
-  = NEW COLUMN
-  = NEW BEAM
-  = EXISTING BEAM
-  = EXISTING STAIR STRINGER
-  = EXIST. JOIST
-  = NEW JOIST

GENERAL FRAMING NOTES

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- REFER TO SHEET S0.1 AND SPECS FOR GENERAL STRUCTURAL REQUIREMENTS
- REFER TO SHEETS S2.1 FOR STRUCTURAL DETAILS
- ASSUME ALL FRAMING TO REMAIN EXCEPT AS NOTED (SHEATHING, JOISTS, BEAMS). VERIFY CONDITION AND REPORT DAMAGE TO CONSULTANT



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Project Title:

**PACIFIC VIEW
CONDOMINIUMS**

BUILDING ENVELOPE

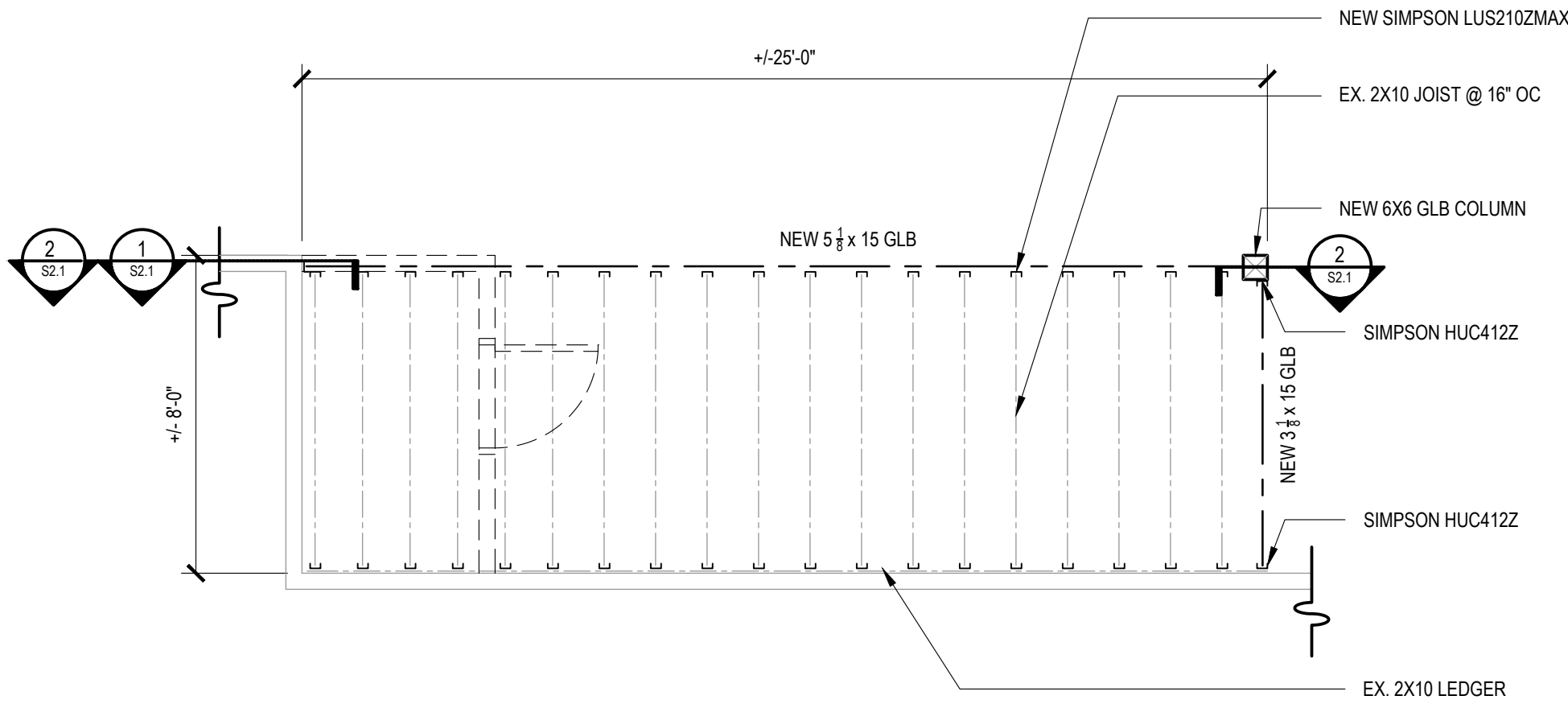
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FRAMING PLAN

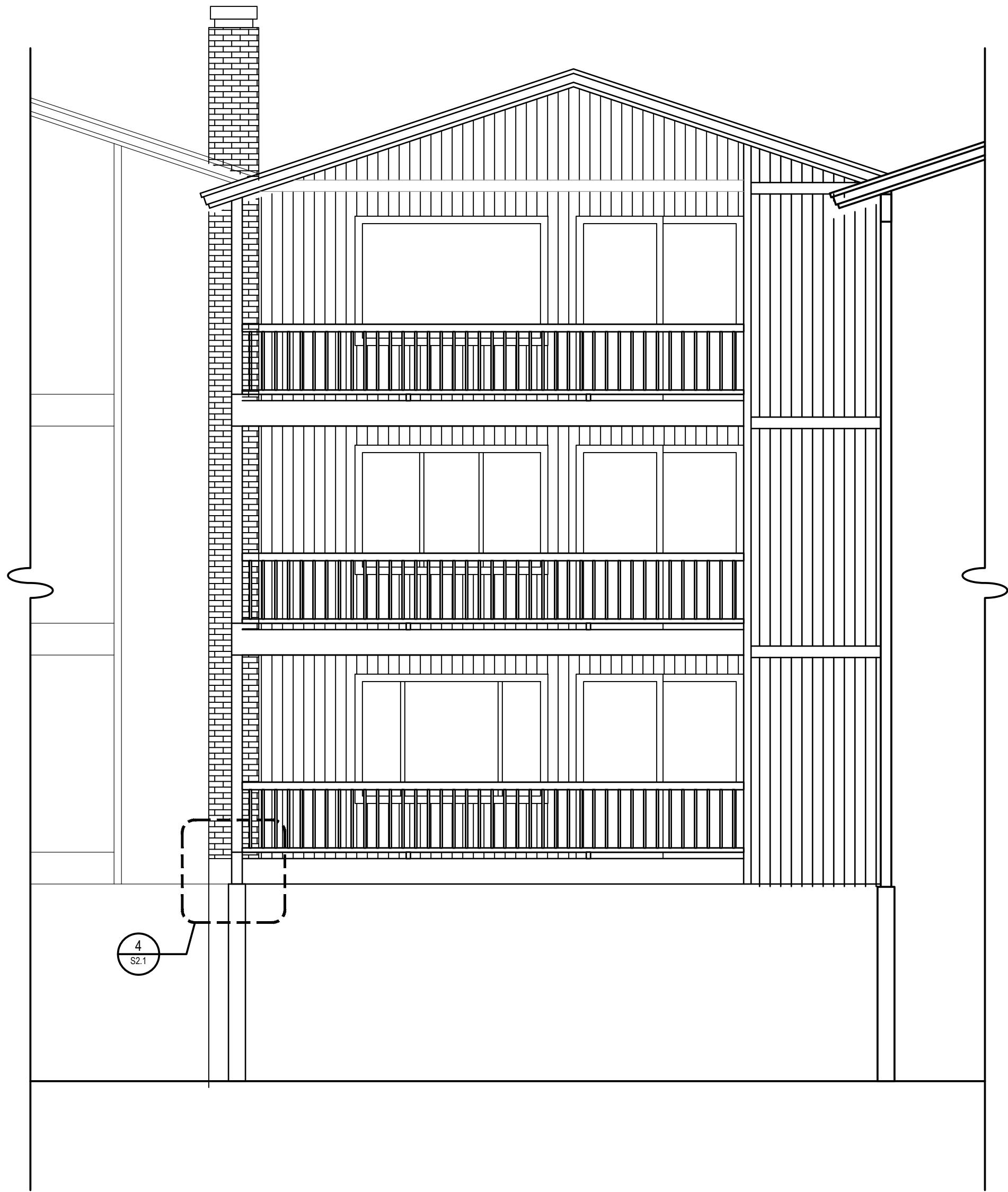
Scale: As Noted

BID SET

Drawn By:	MEB/JMM
Checked By:	REP/JKJ
Issue Date:	11/22/2023
Job #:	5631001
Sheet Number:	S1.4



1 REAR DECK FRAMING PLANS - TYP.
SCALE: NTS



2 PARTIAL ENLARGE ELEVATION
SCALE: NTS

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Δ	Date	Description

Project Title:

PACIFIC VIEW
CONDOMINIUMS

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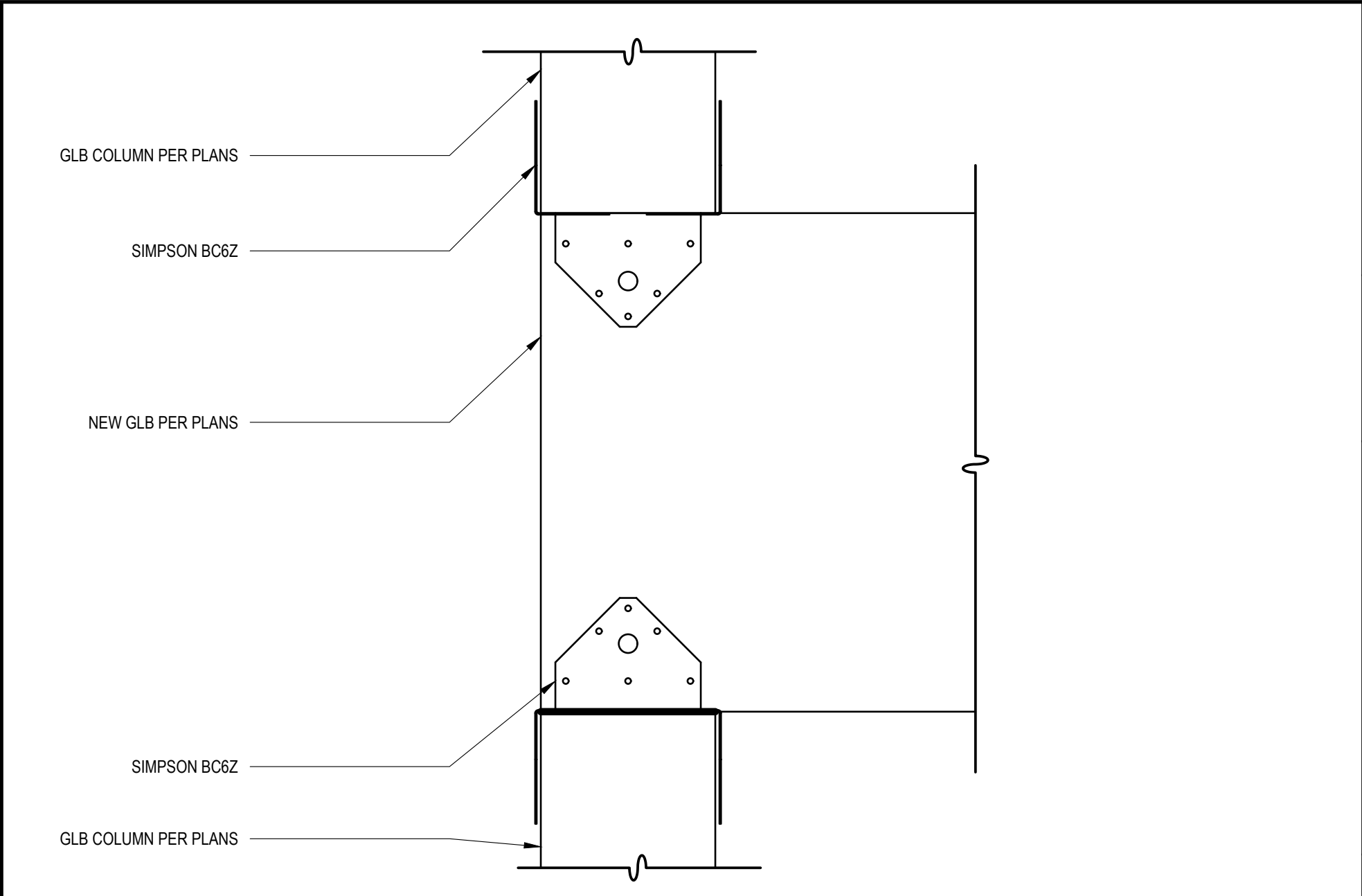
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STRUCTURAL DETAILS

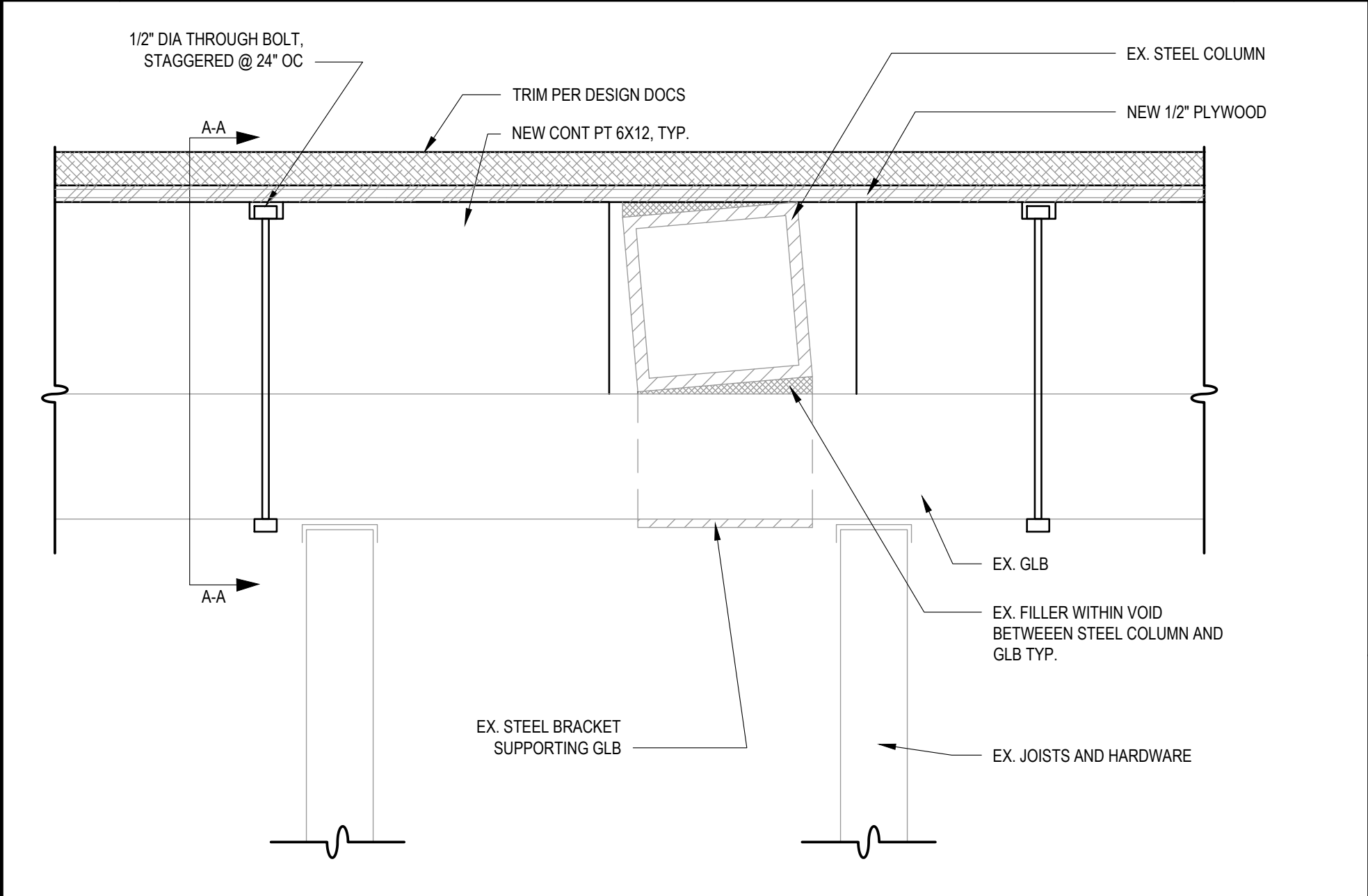
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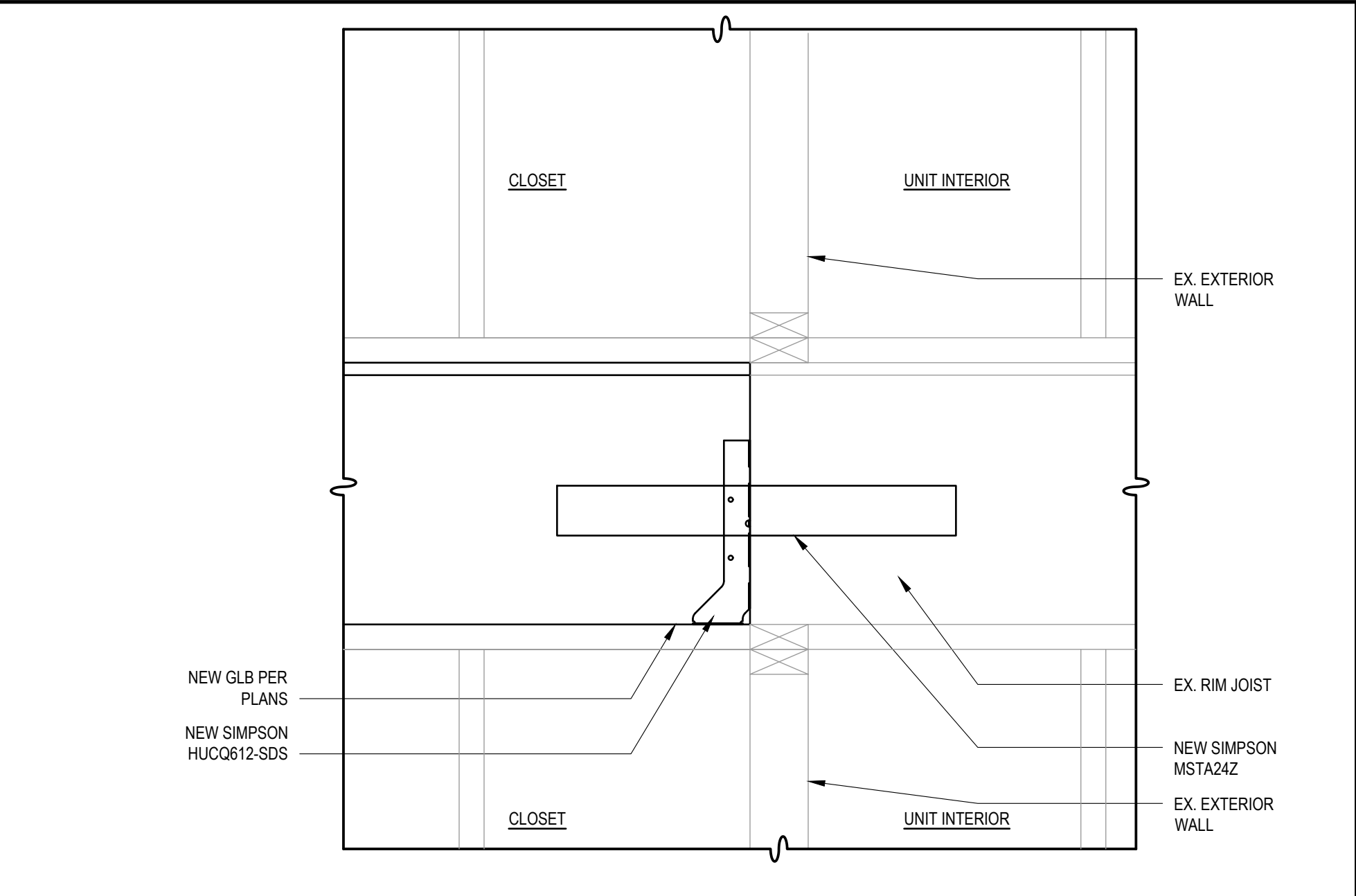
Drawn By:	MEB/UMM
Checked By:	REPIJKJ
Issue Date:	11/22/2023
Job #:	5631001
Sheet Number:	S2.1



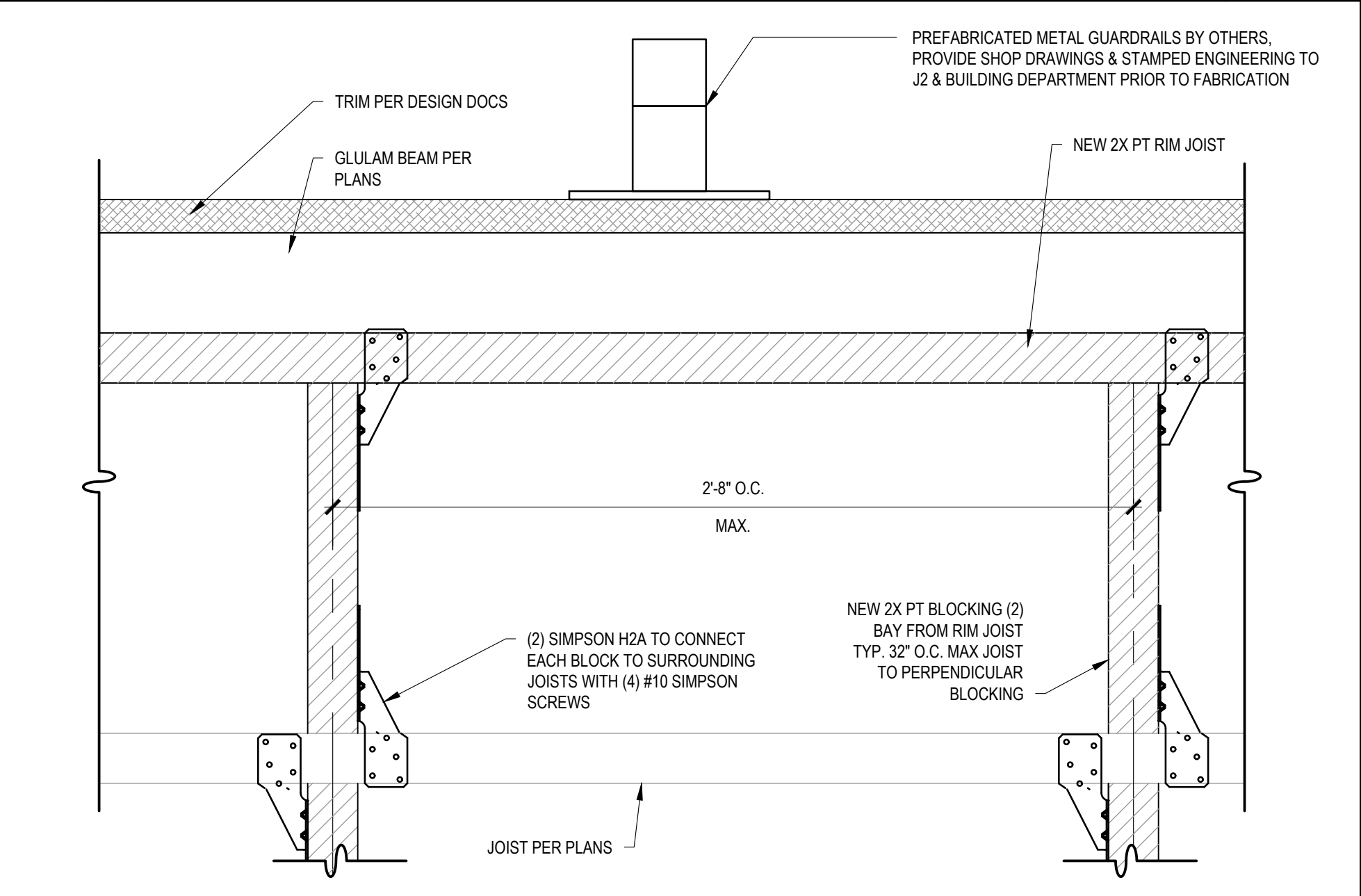
3 / S2.1 COLUMN TO BEAM CONNECTION



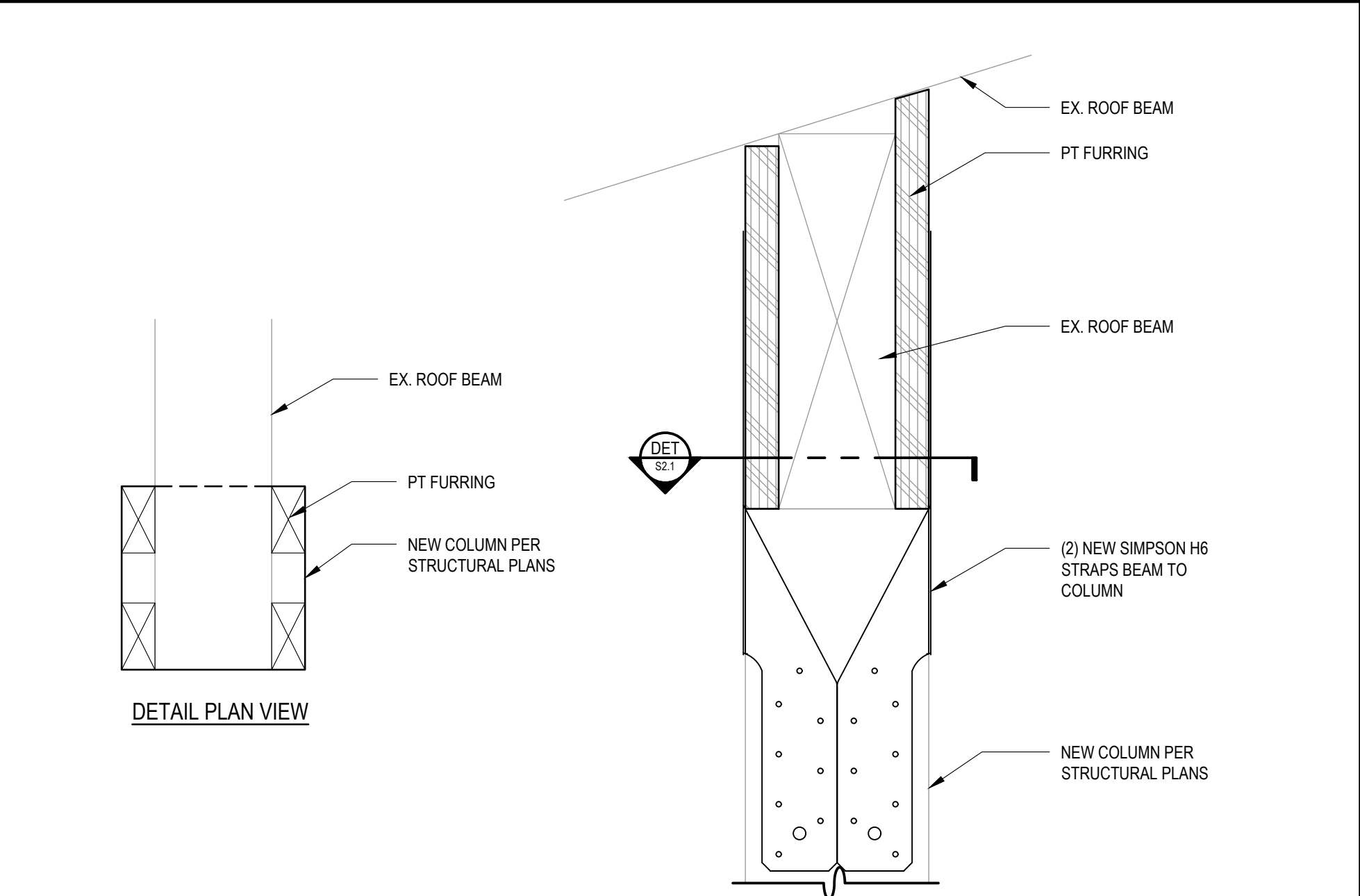
6 / S2.1 EXTENDED FASCIA AT WALKWAY - PLAN



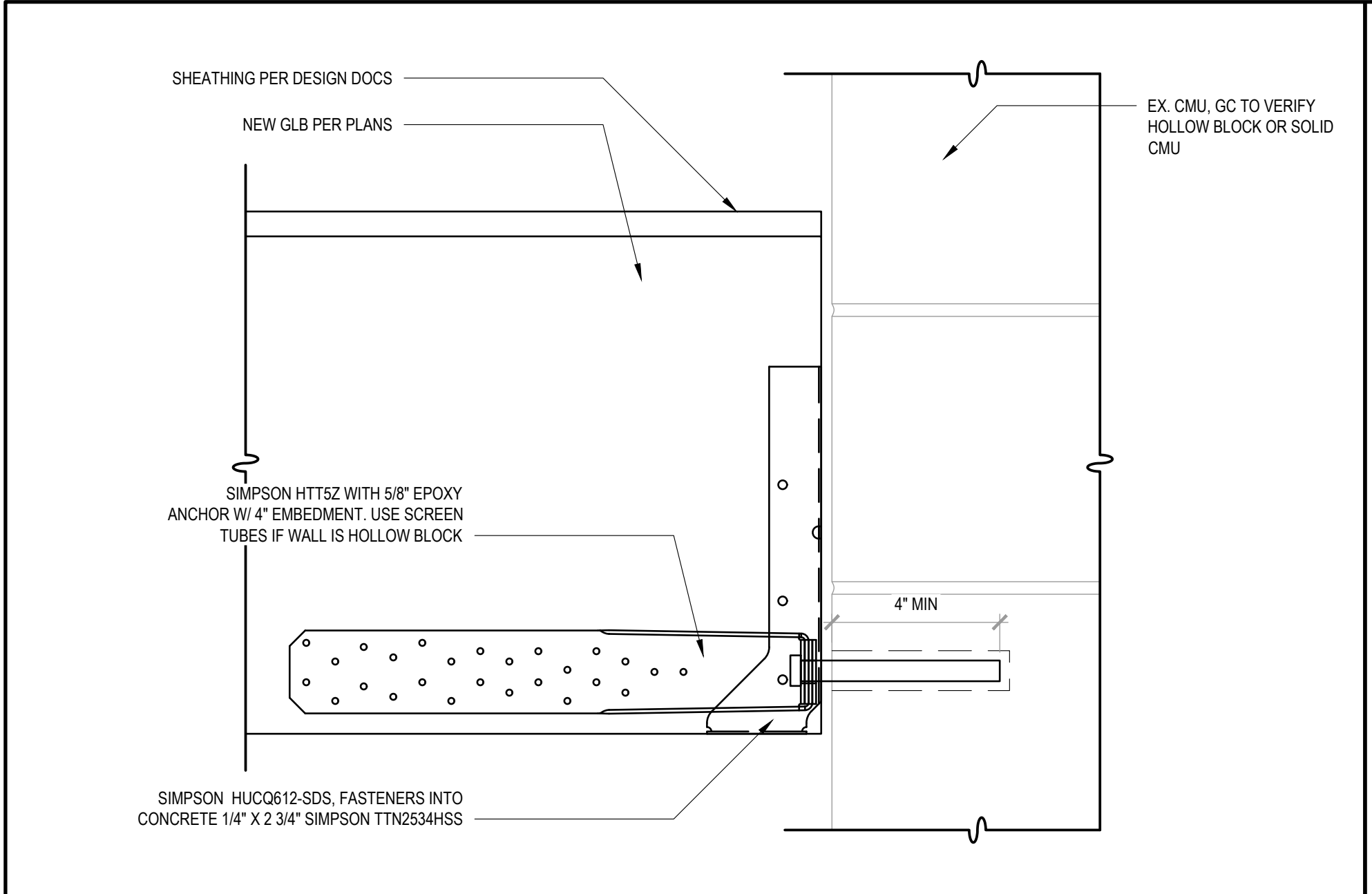
2 / S2.1 BEAM TO WALL AT WOOD FRAMING



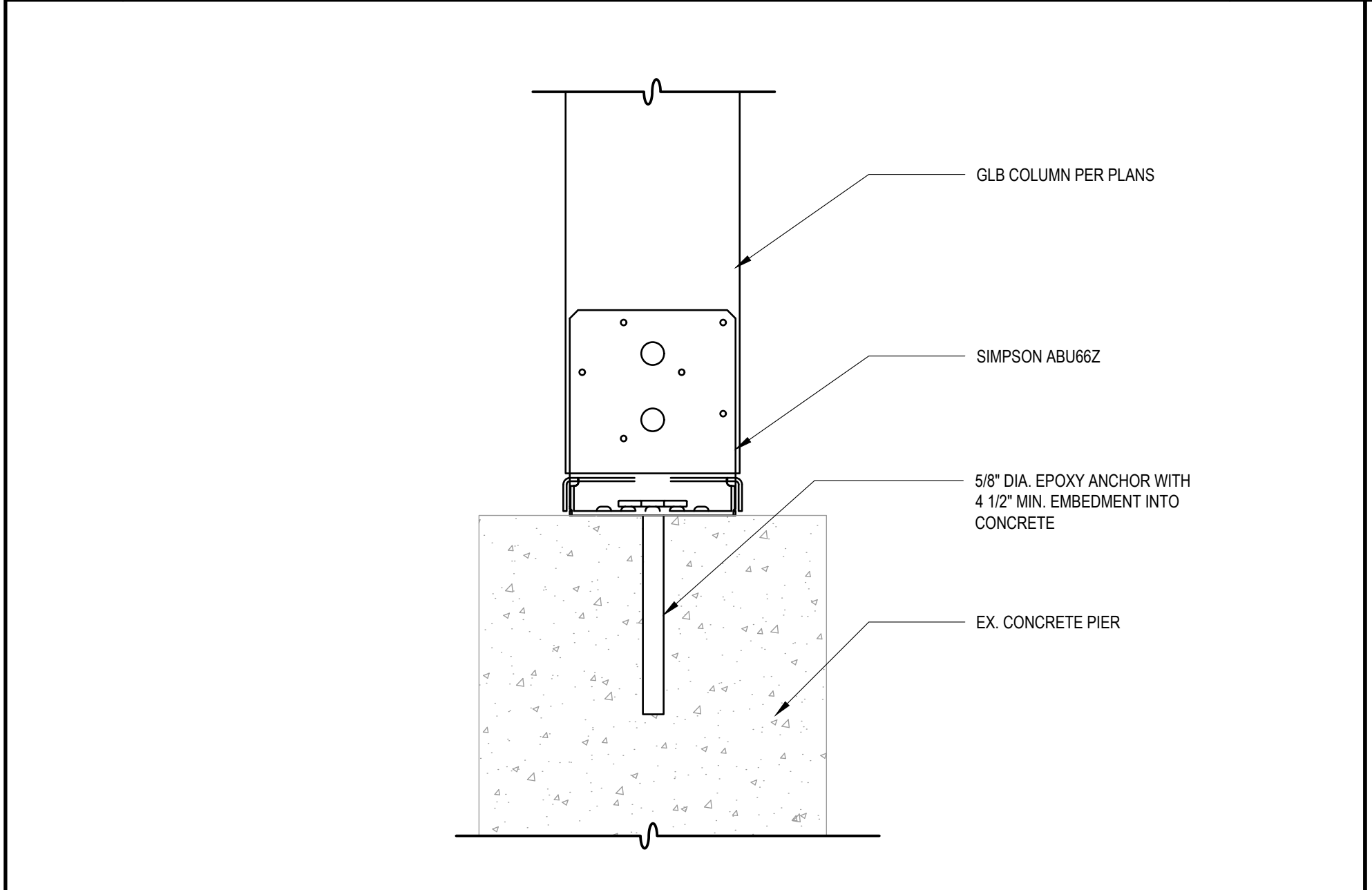
5 / S2.1 GUARDRAIL BLOCKING PLAN AT PRIVATE DECKS - JOISTS PARALLEL



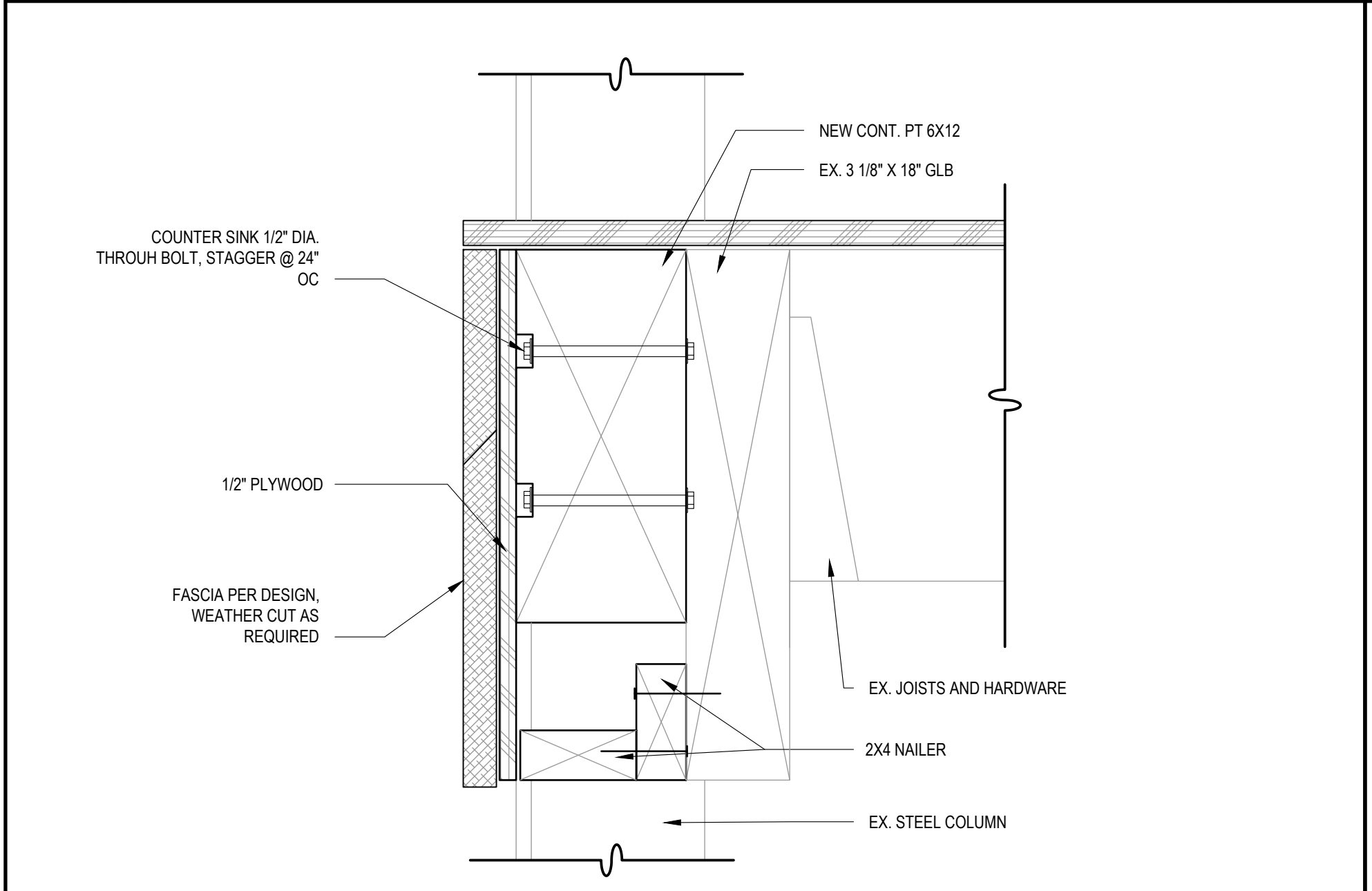
8 / S2.1 COLUMN TO EXISTING ROOF BEAM CONNECTION



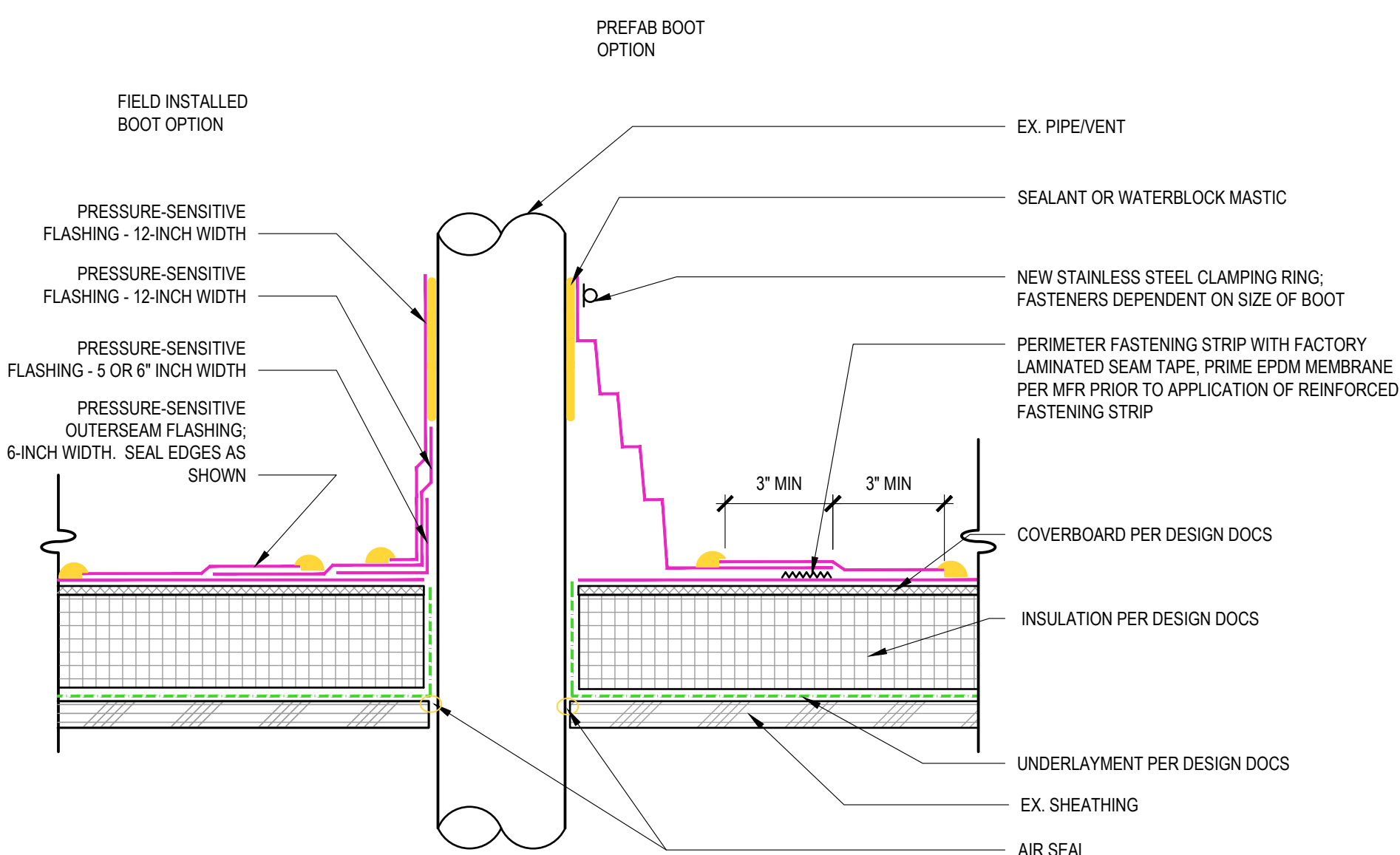
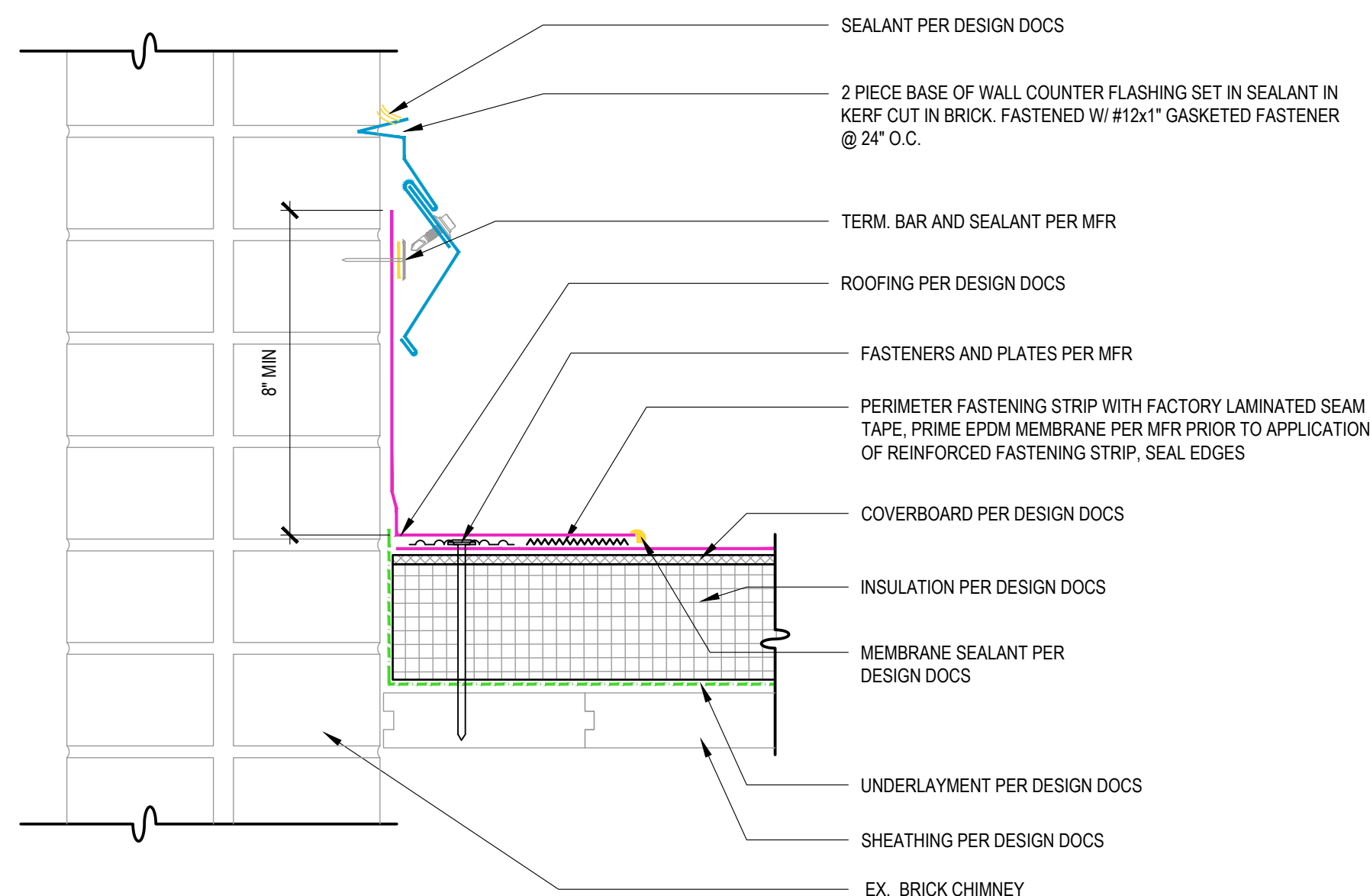
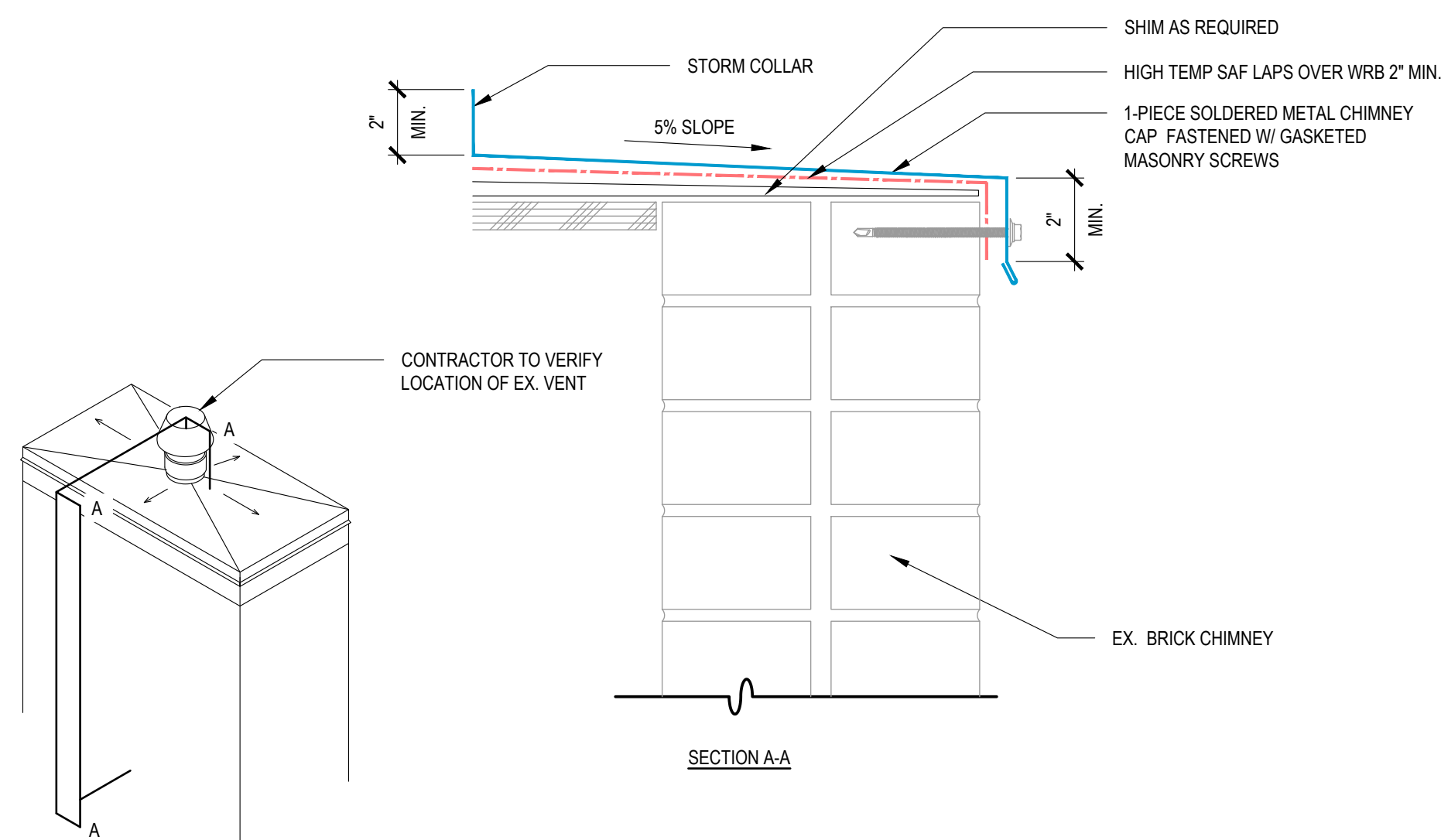
1 / S2.1 BEAM TO WALL AT CMU



4 / S2.1 COLUMN TO CONCRETE PIER



7 / S2.1 EXTENDED FASCIA AT WALKWAY - SECTION A-A



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Revisions: _____

[illegible]

Project Title: _____

PACIFIC VIEW CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

WEATHERIZATION DETAILS - ROOF

Scale: As Noted

BID SET

Drawn By:	MEB/JMM
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Checked By:	REF/JKS

1/22/2023

Job #: 5621004

1 / W1.1	CHIMNEY CAP - BRICK
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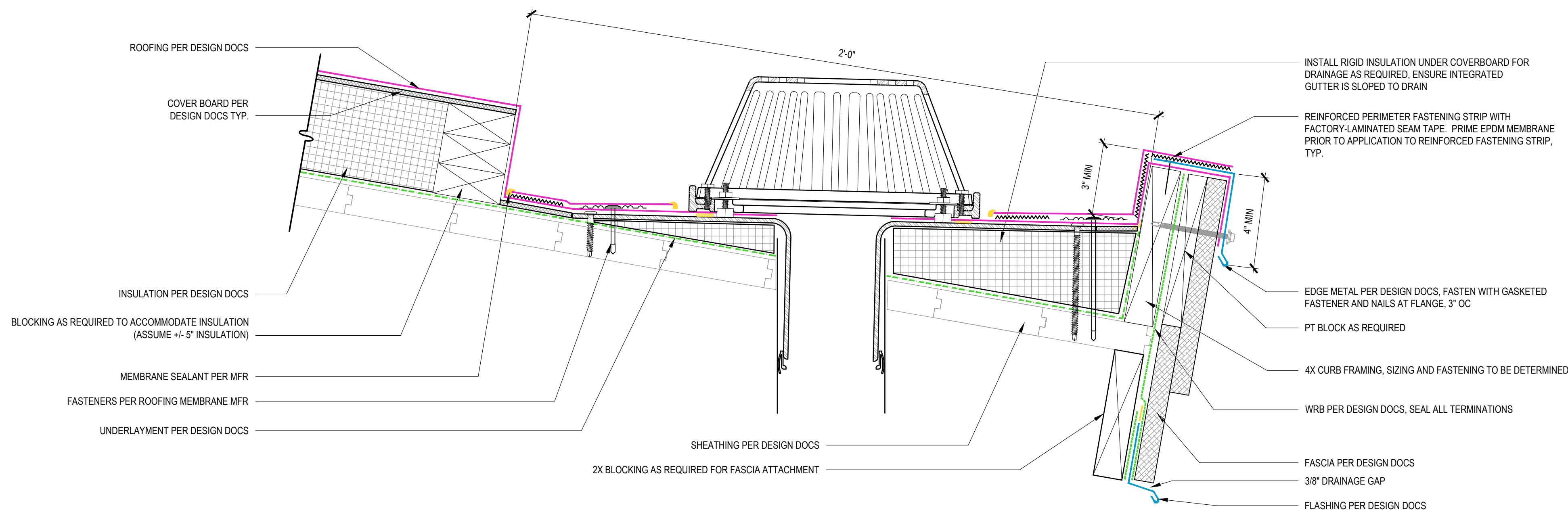
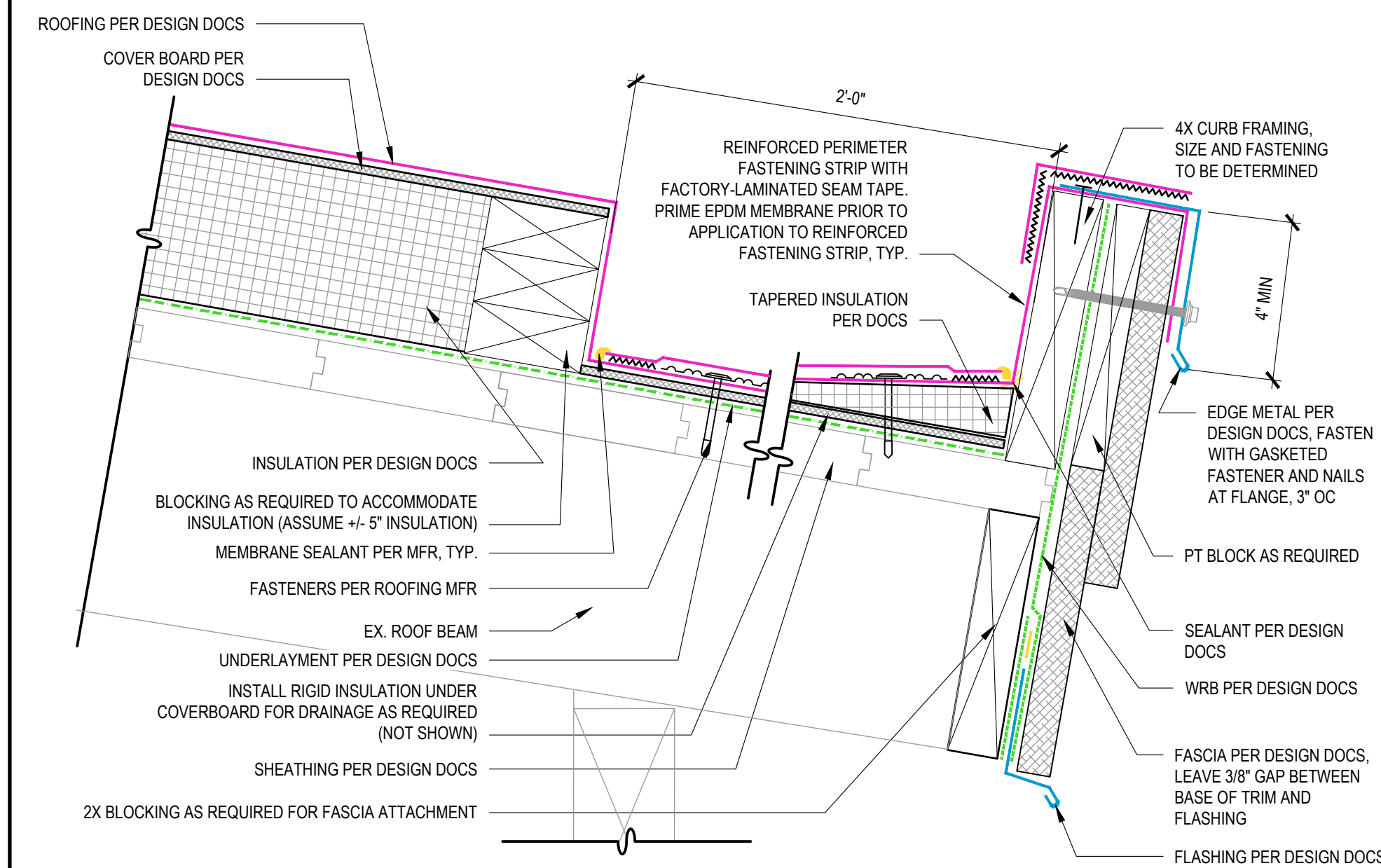
ID: 1111 - RE
SCALE: NTS

2 / W1.1	BASE OF WALL - BRICK / SINGLE PLY
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ID: 862-RE
SCALE: NT

3 / W1.1	PIPE PENETRATION - EPDM
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ID: 861
SCALE: NTS

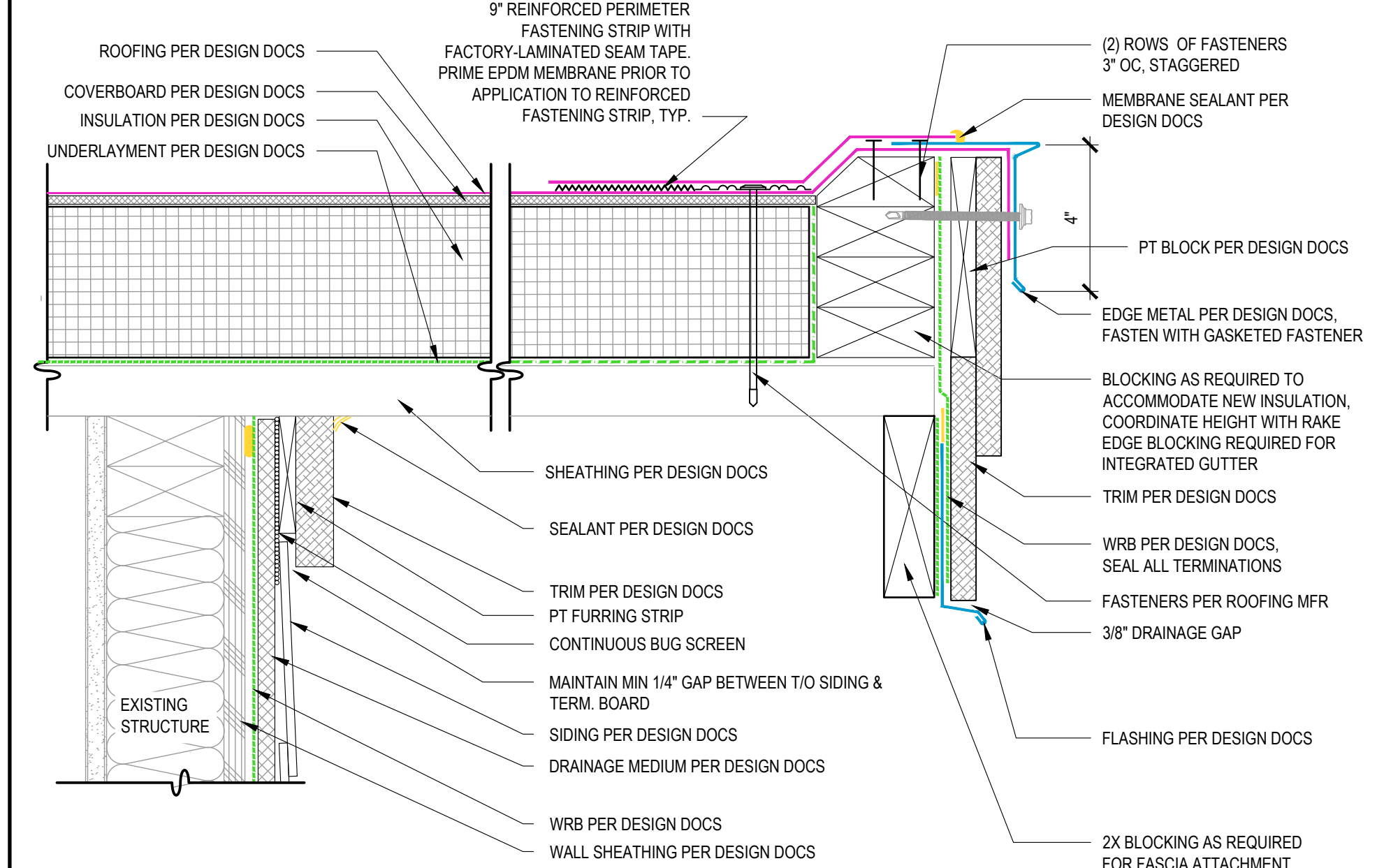


4 / W1.1	INTEGRATED GUTTER EDGE
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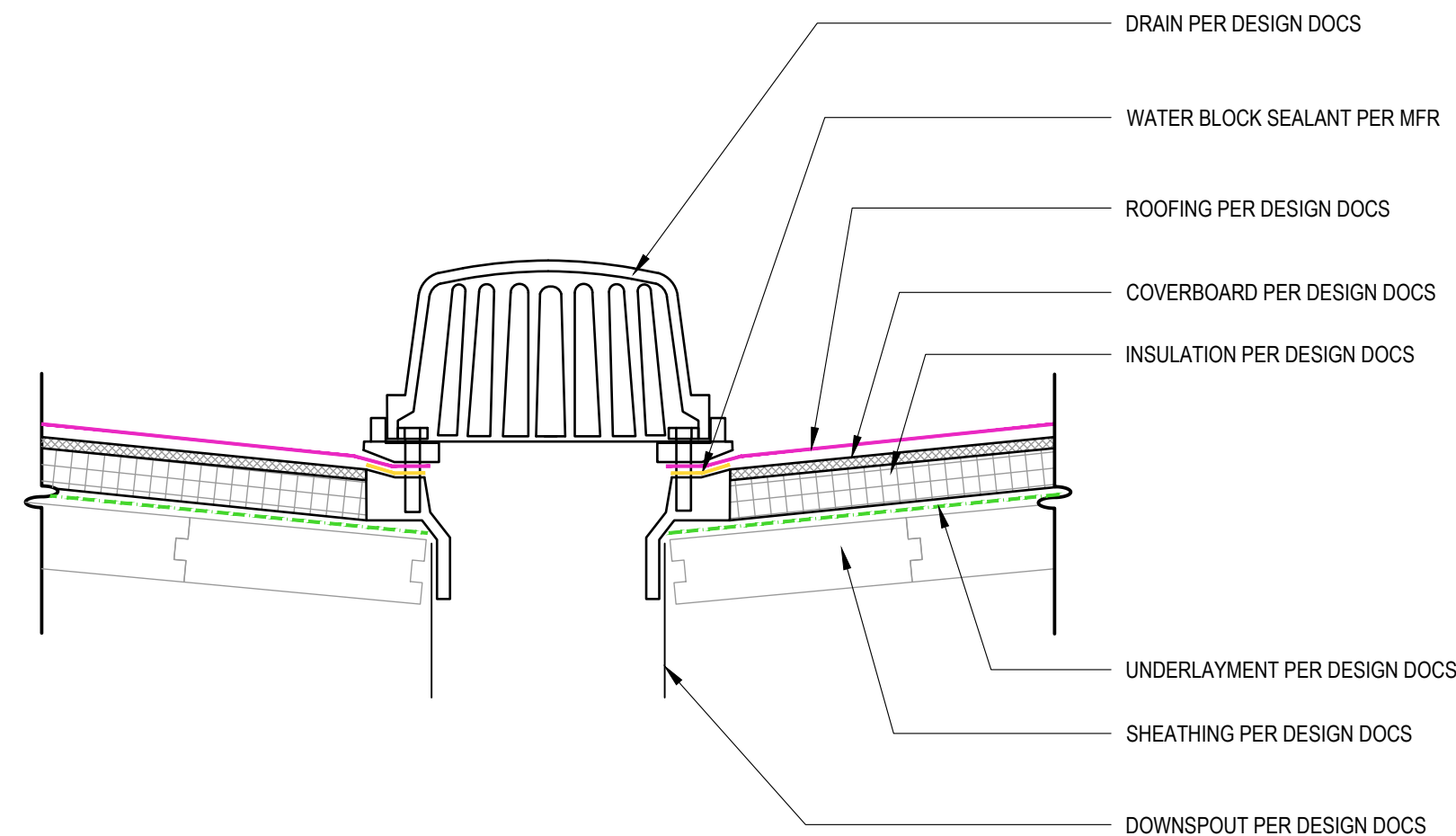
ID: 53
SCALE: NTS

5 / W1.1	DRAIN AT INTEGRATED GUTTER
----------	----------------------------

ID:
SCALE: NTS



— INFILL EXISTING TRENCH WITH FRAMING BETWEEN EXISTING CURB AND CHIMNEY



6 / W1.1	RAKE EDGE - SINGLE PLY
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ID: 53
SCALE: NTS

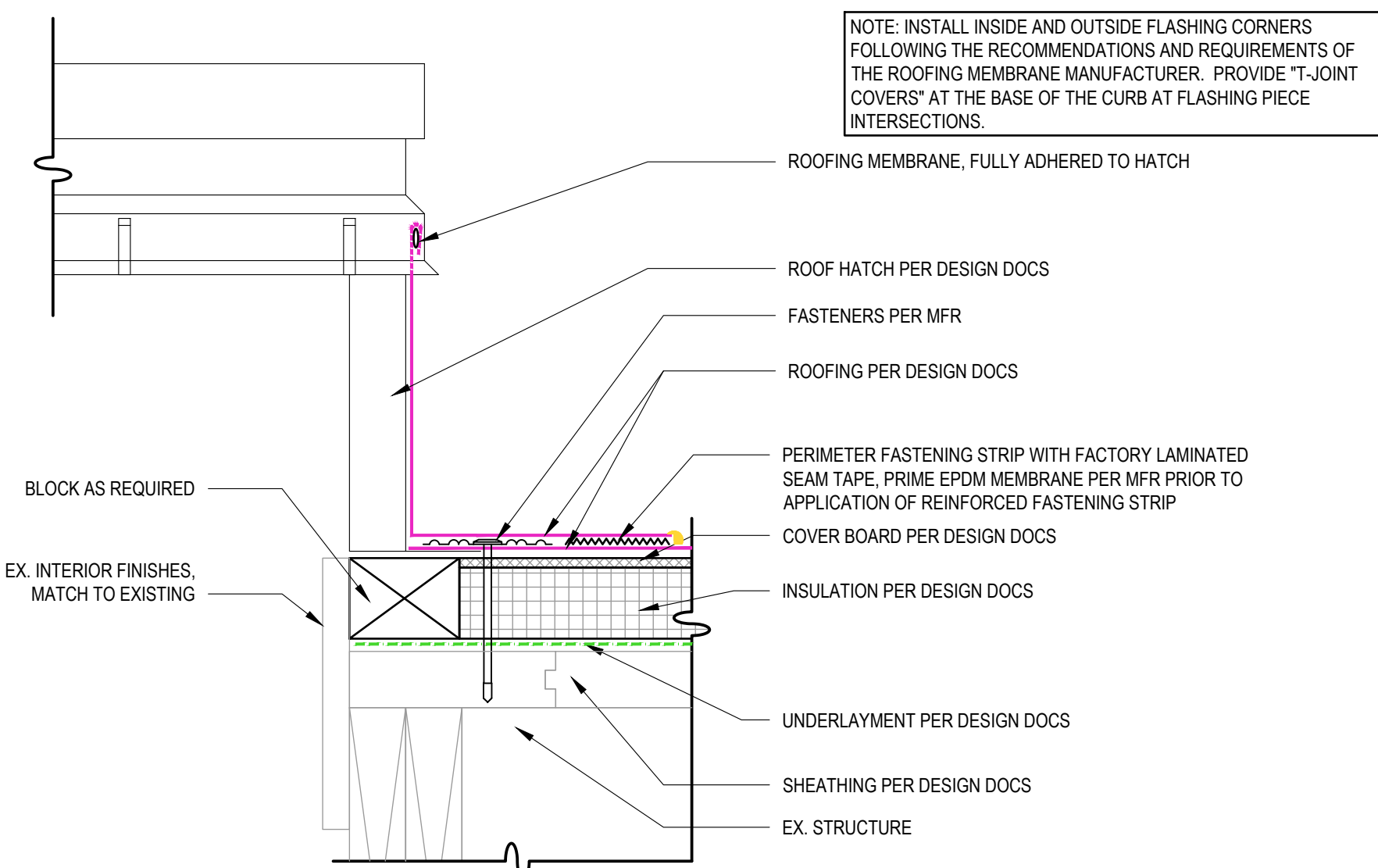
7 / W1.1	ROOF TRENCH AT CHIMNEY
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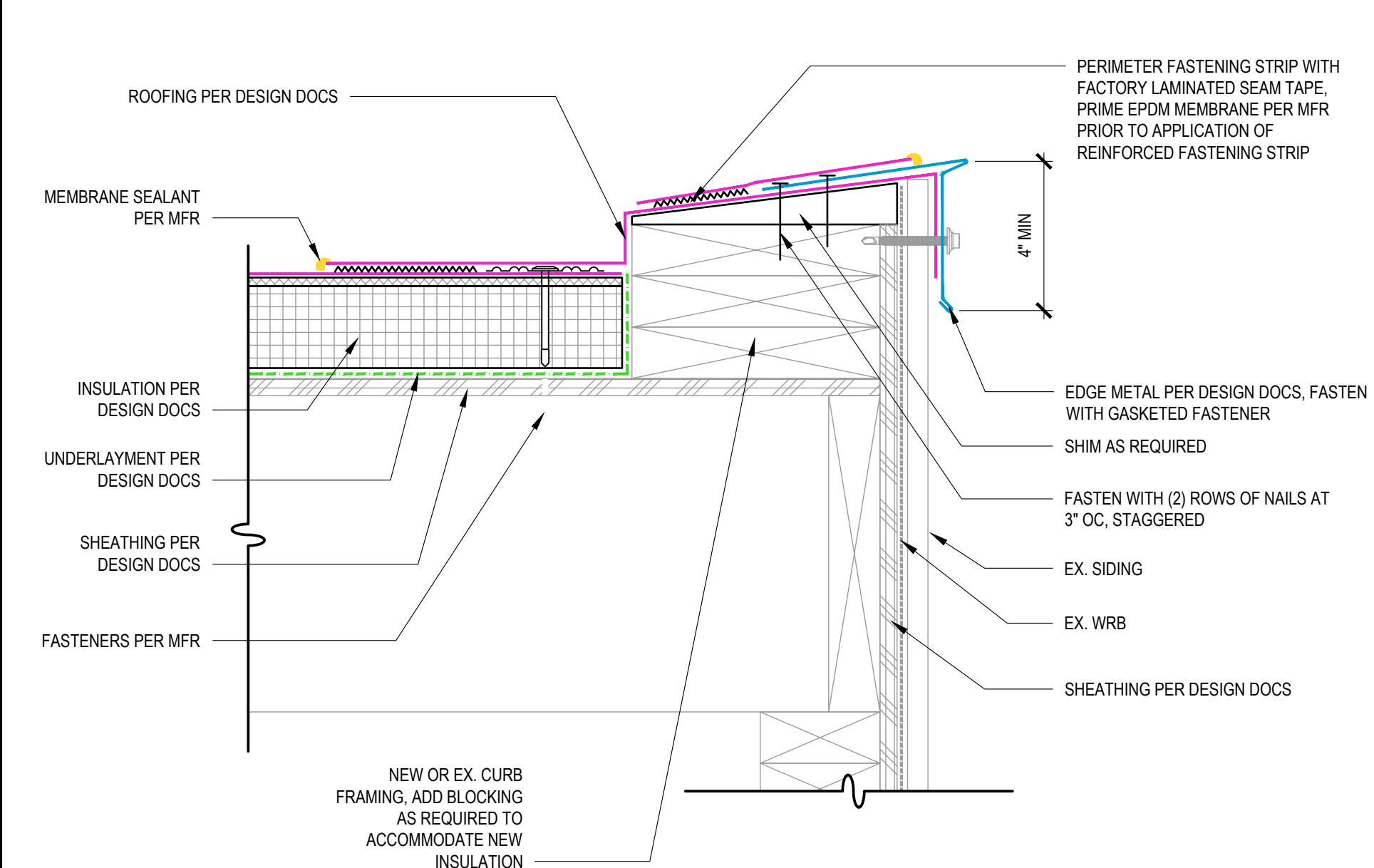
8 / W1.1	ROOF DRAIN - SINGLE PLY
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SCALE: NTS

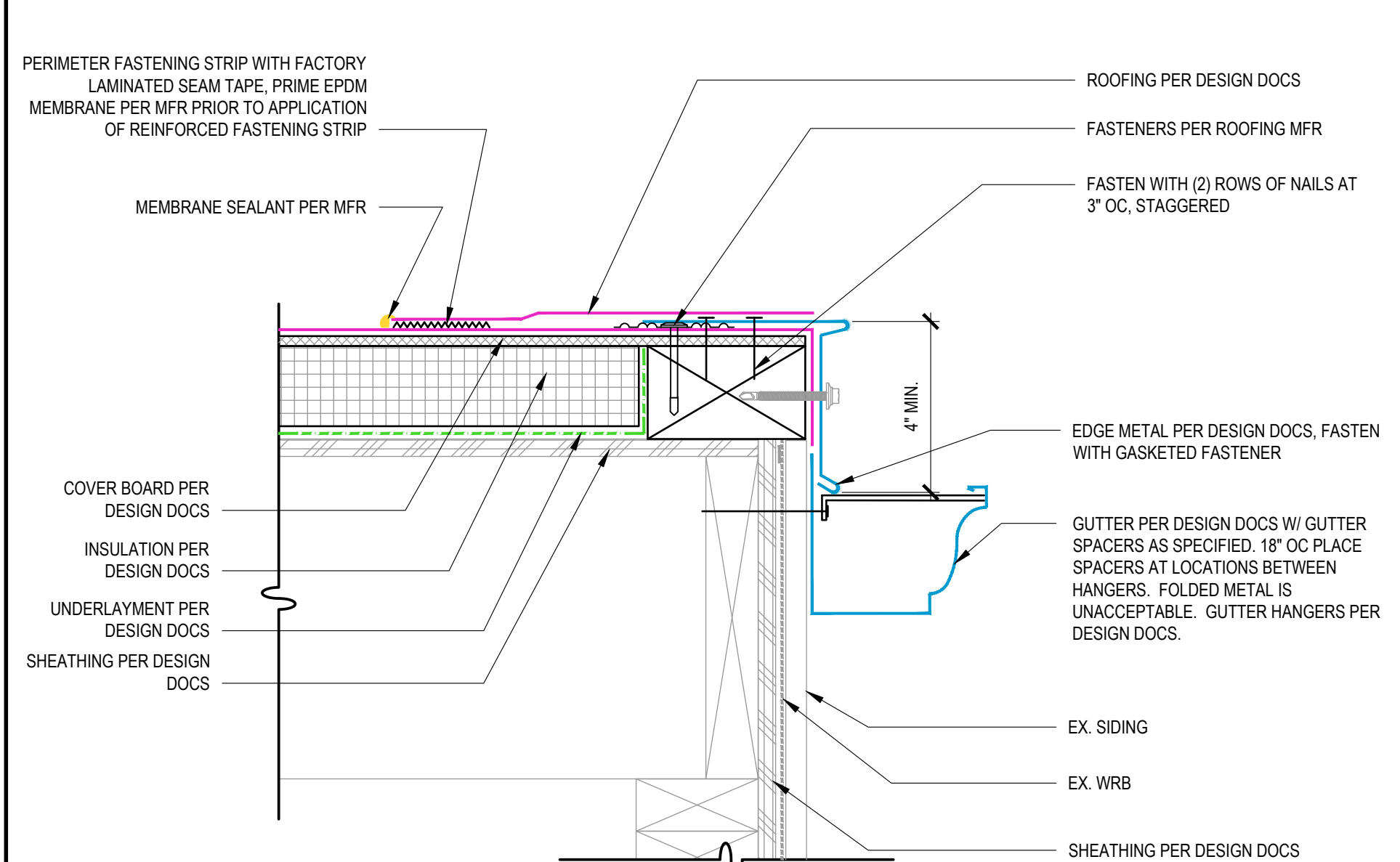
1/22/2023



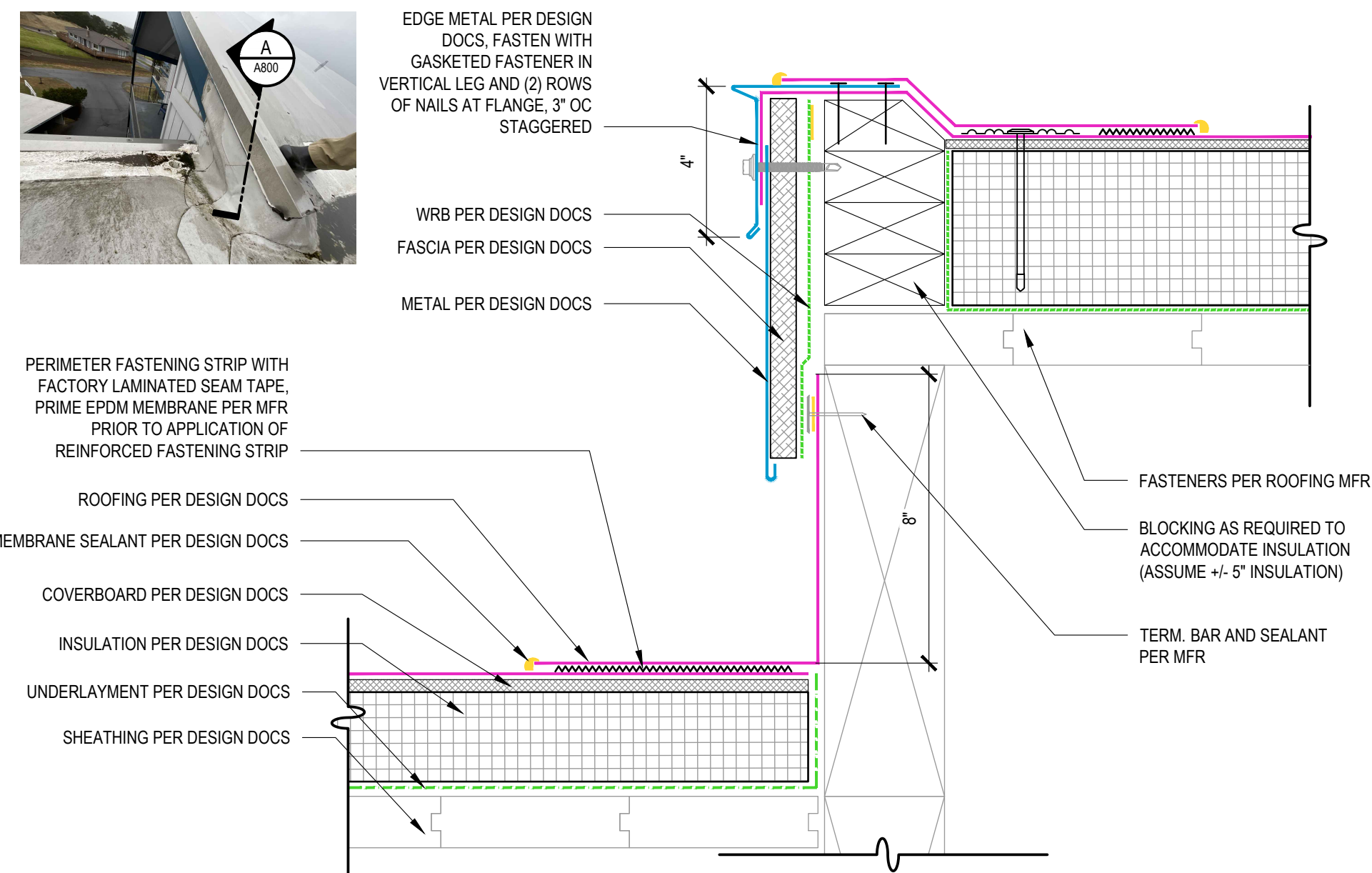
1 / W1.2	ROOF HATCH - EPDM
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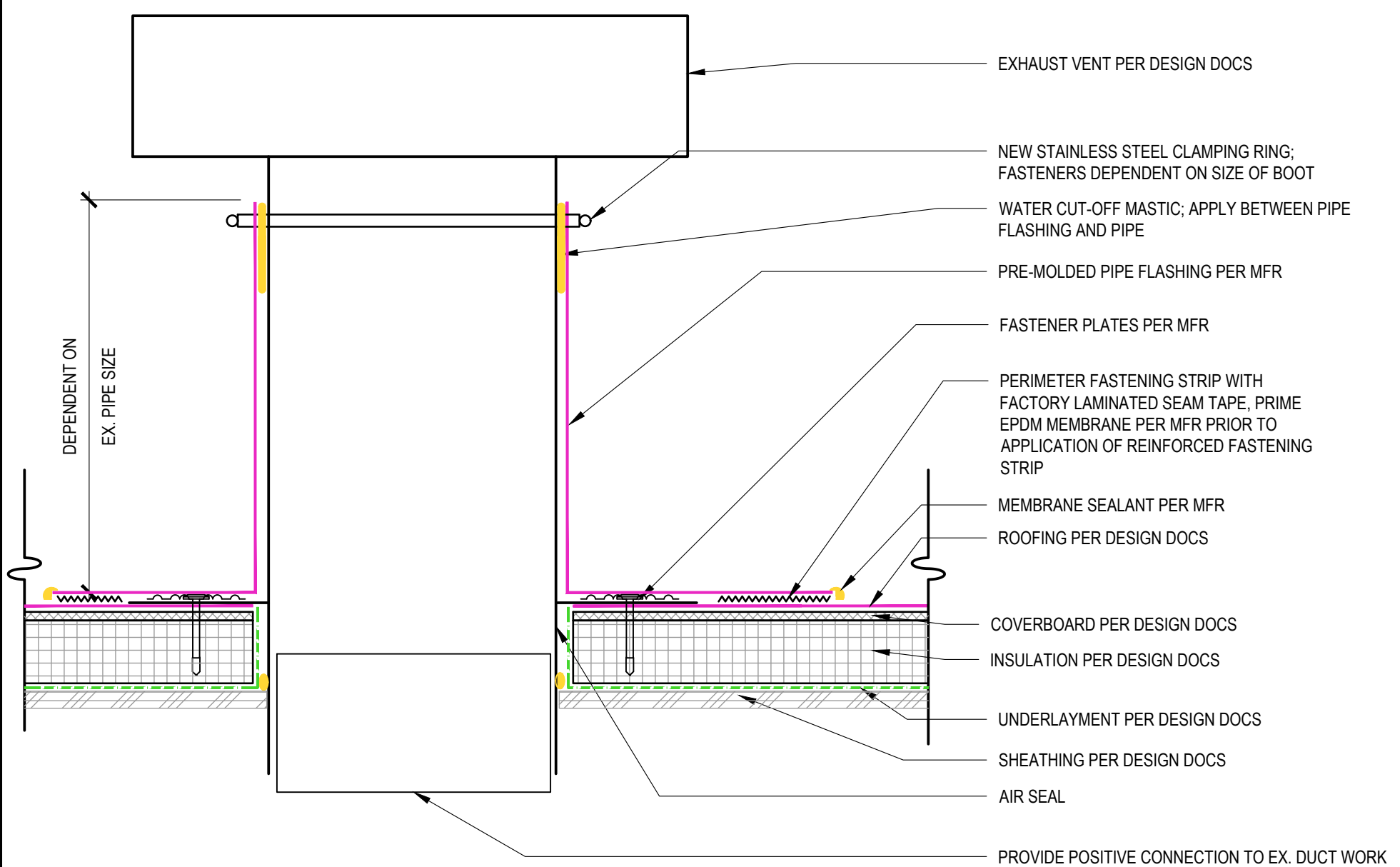
2 / W1.2	CURB AT ELEVATOR ROOF - EPDM
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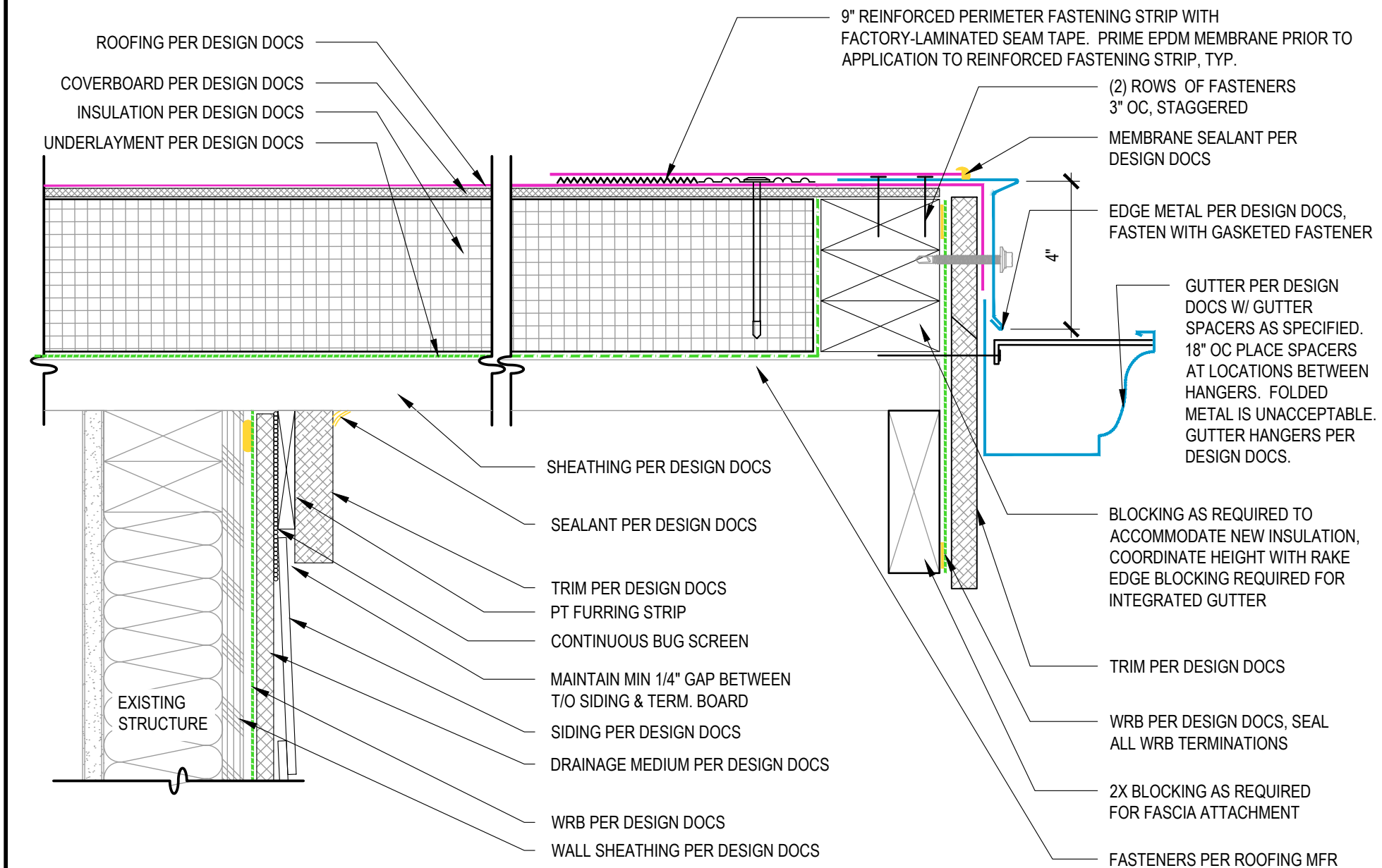
3 / W1.2	ROOF EDGE AT ELEVATOR - SINGLE PLY
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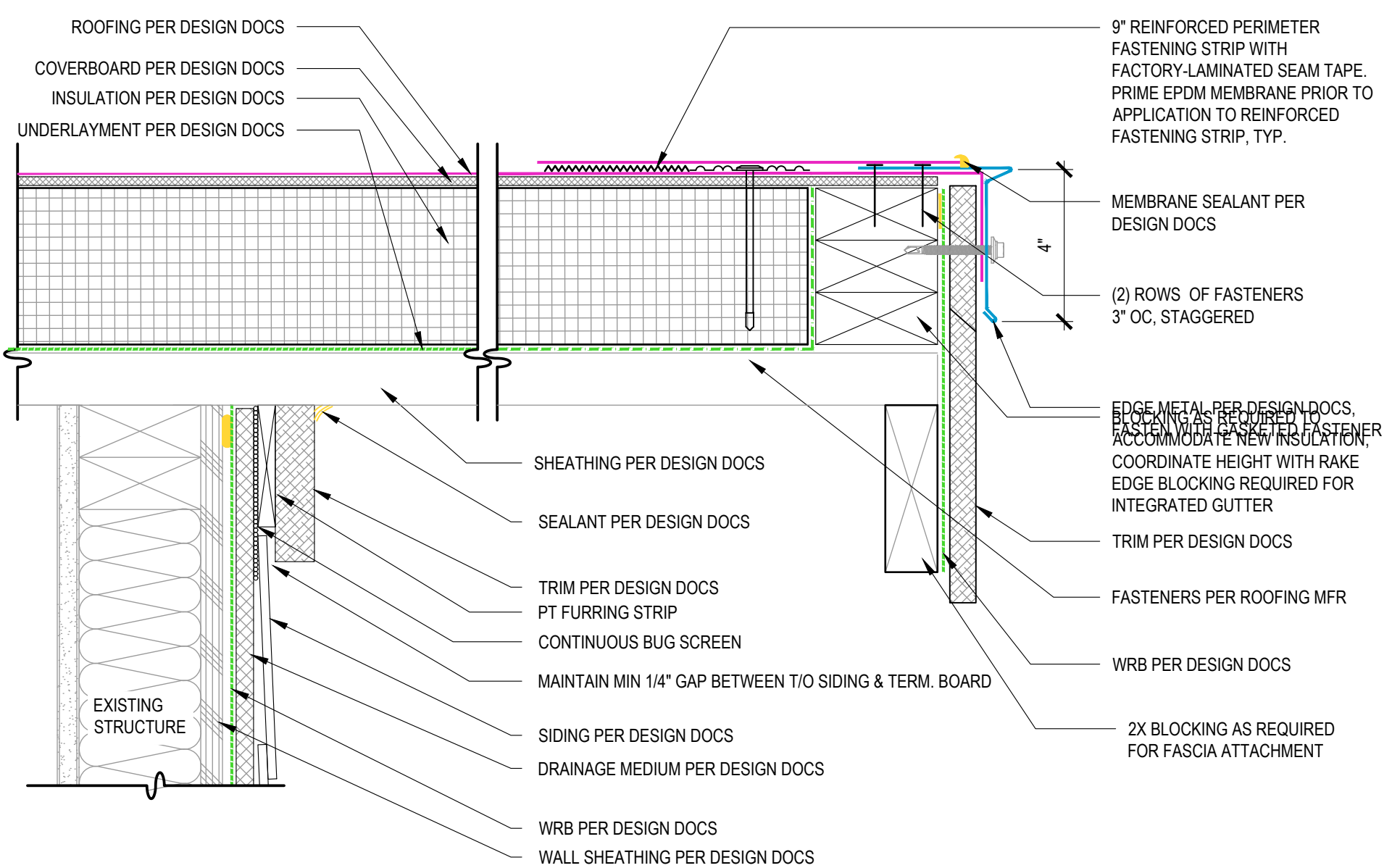
4 / W1.2	RAKE EDGE - SINGLE PLY
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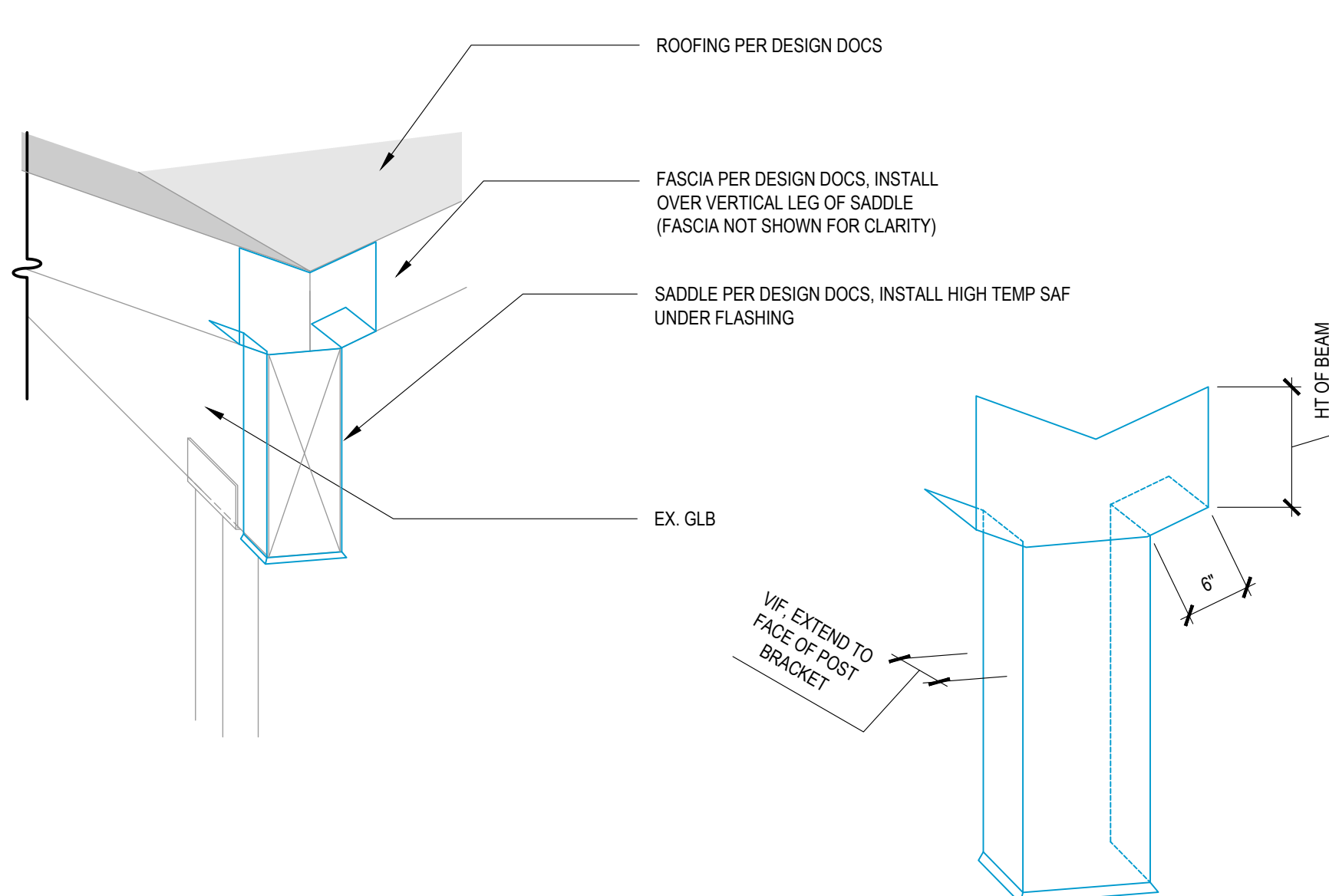
5 / W1.2	PIPE/VENT PENETRATION - SINGLE PLY
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6 / W1.2	EAVE EDGE AT POOL BUILDING - SINGLE PL
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7 / W1.2	RAKE EDGE AT POOL BUILDING - SINGLE PLY
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8 / W1.2	EXPOSED BEAMS AT ROOFLINE
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Revisions:

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Project Title:

PACIFIC VIEW CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

WEATHERIZATION DETAILS - ROOF

Scale: As Noted

Drawn By:	MEB/JMM
Checked By:	REP/JKJ
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1/22/2023	W1.2
Job #: 5631001	

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Project Title:

**PACIFIC VIEW
CONDOMINIUMS**

BUILDING ENVELOPE

Sheet Title:

**WEATHERIZATION
DETAILS - WINDOWS**

Scale: As Noted

BID SET

Drawn By: MEB/JMM

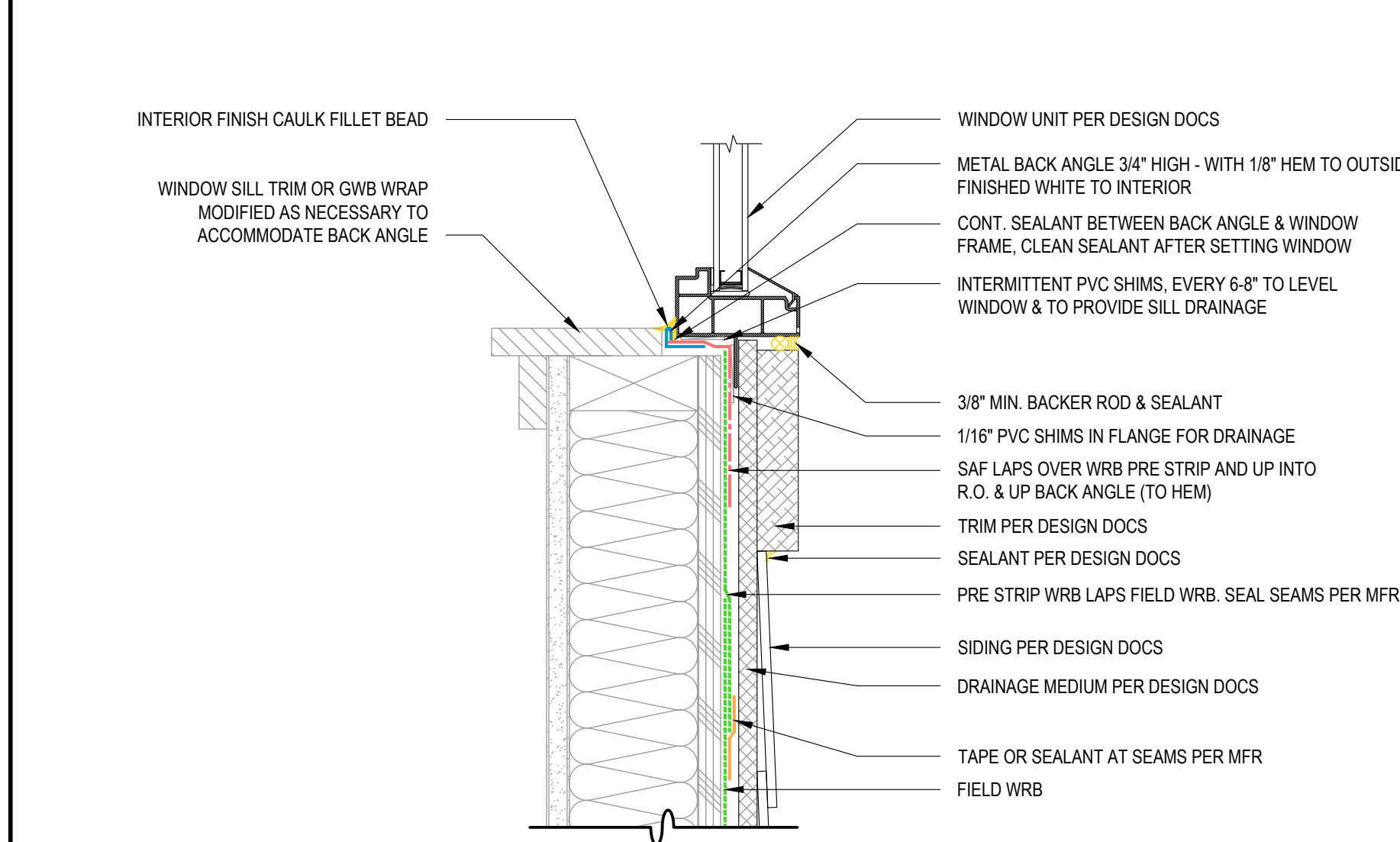
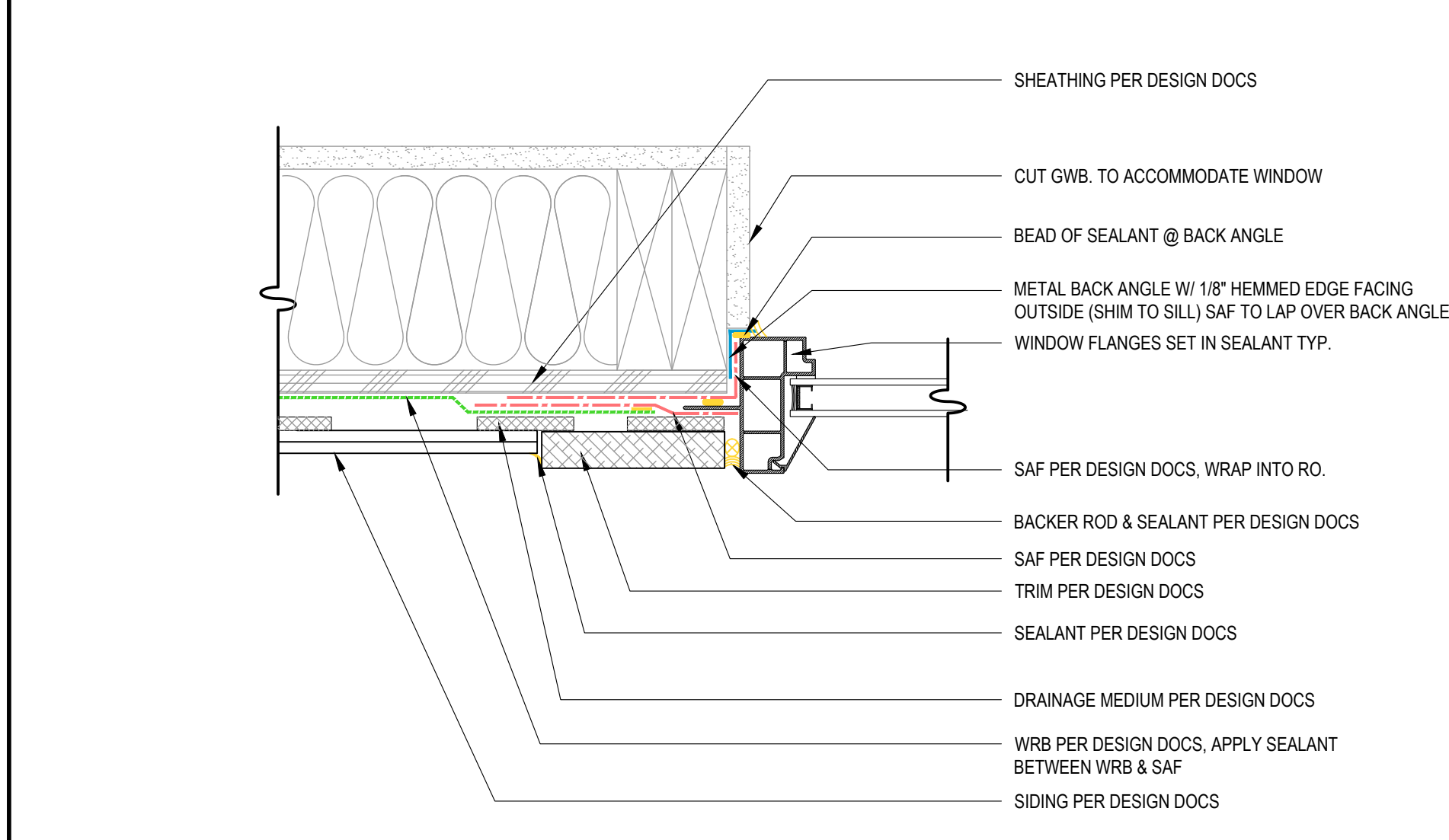
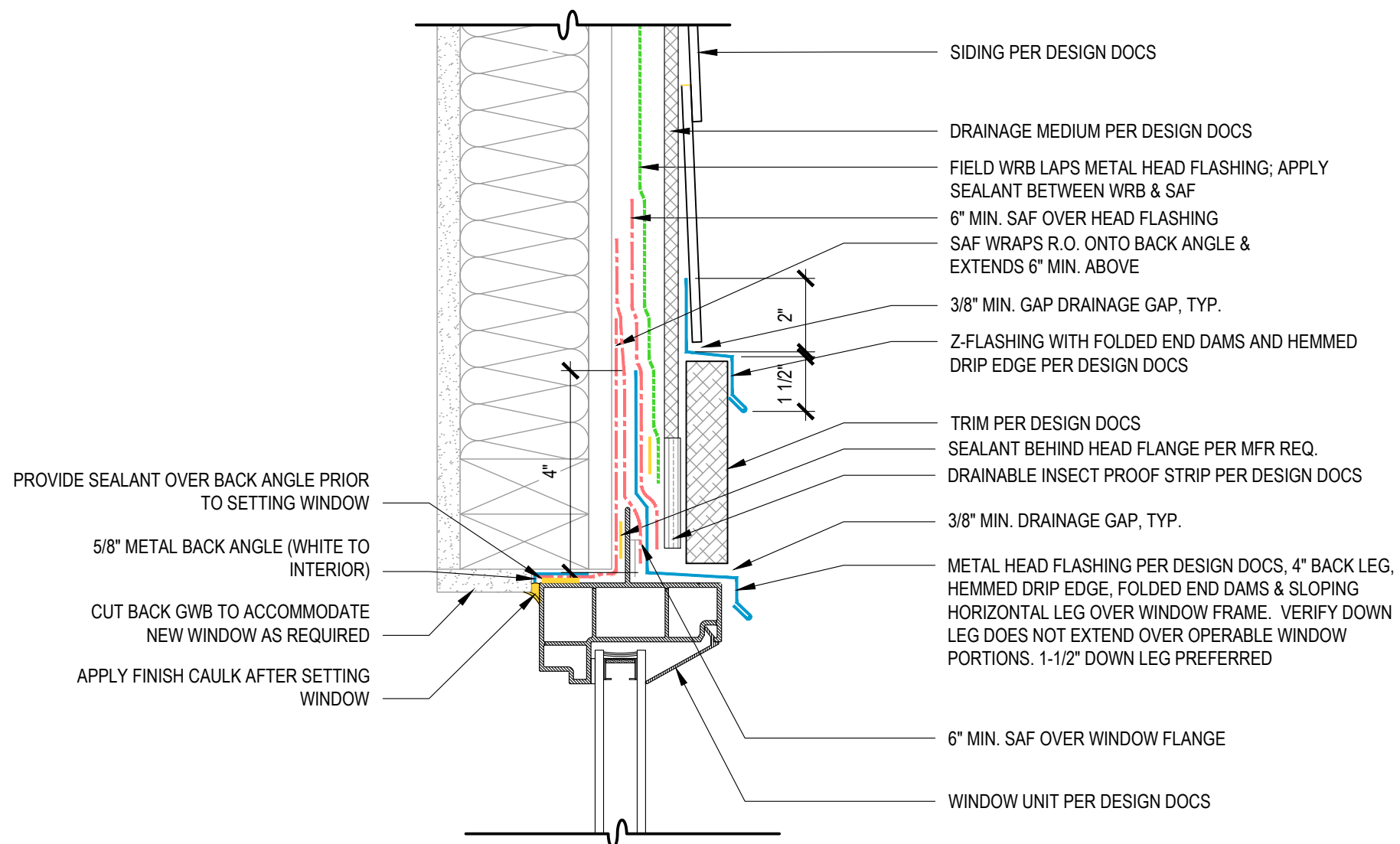
Checked By: REPIJKJ

Issue Date:

11/22/2023

Job #:

5631001

W2.2

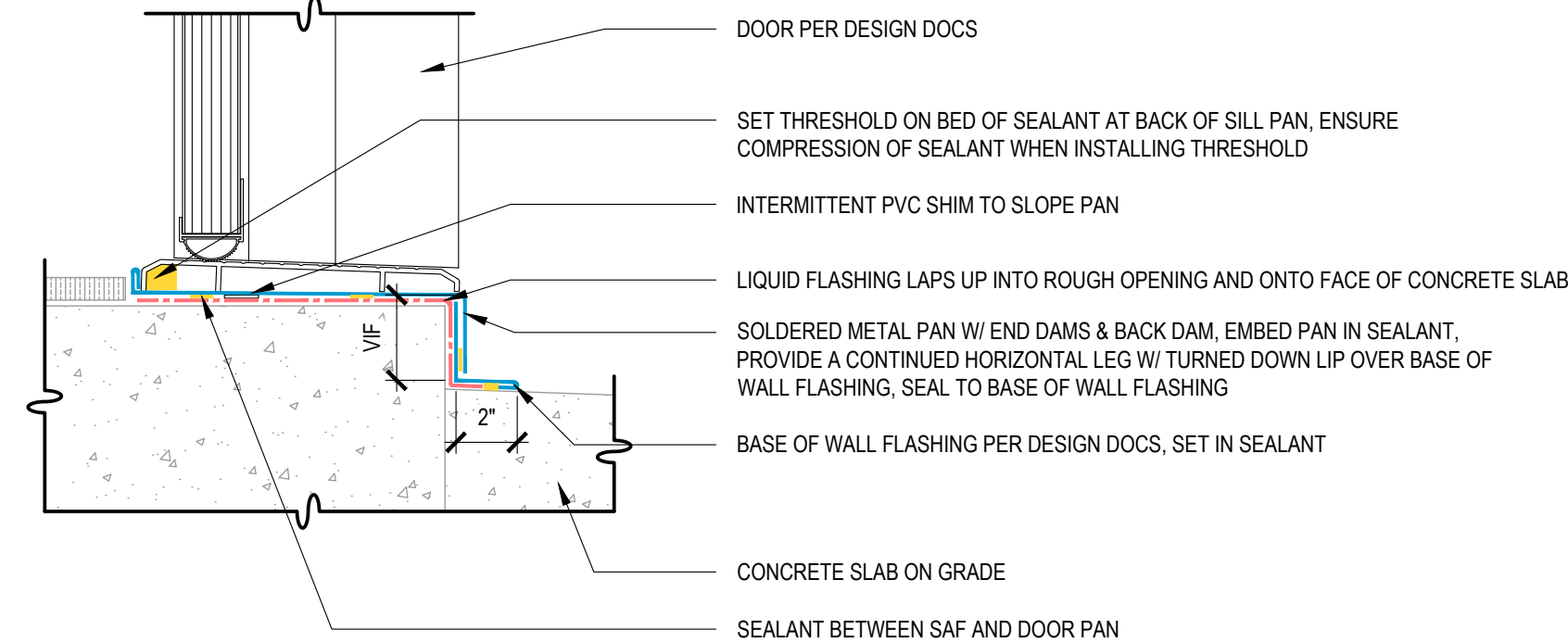
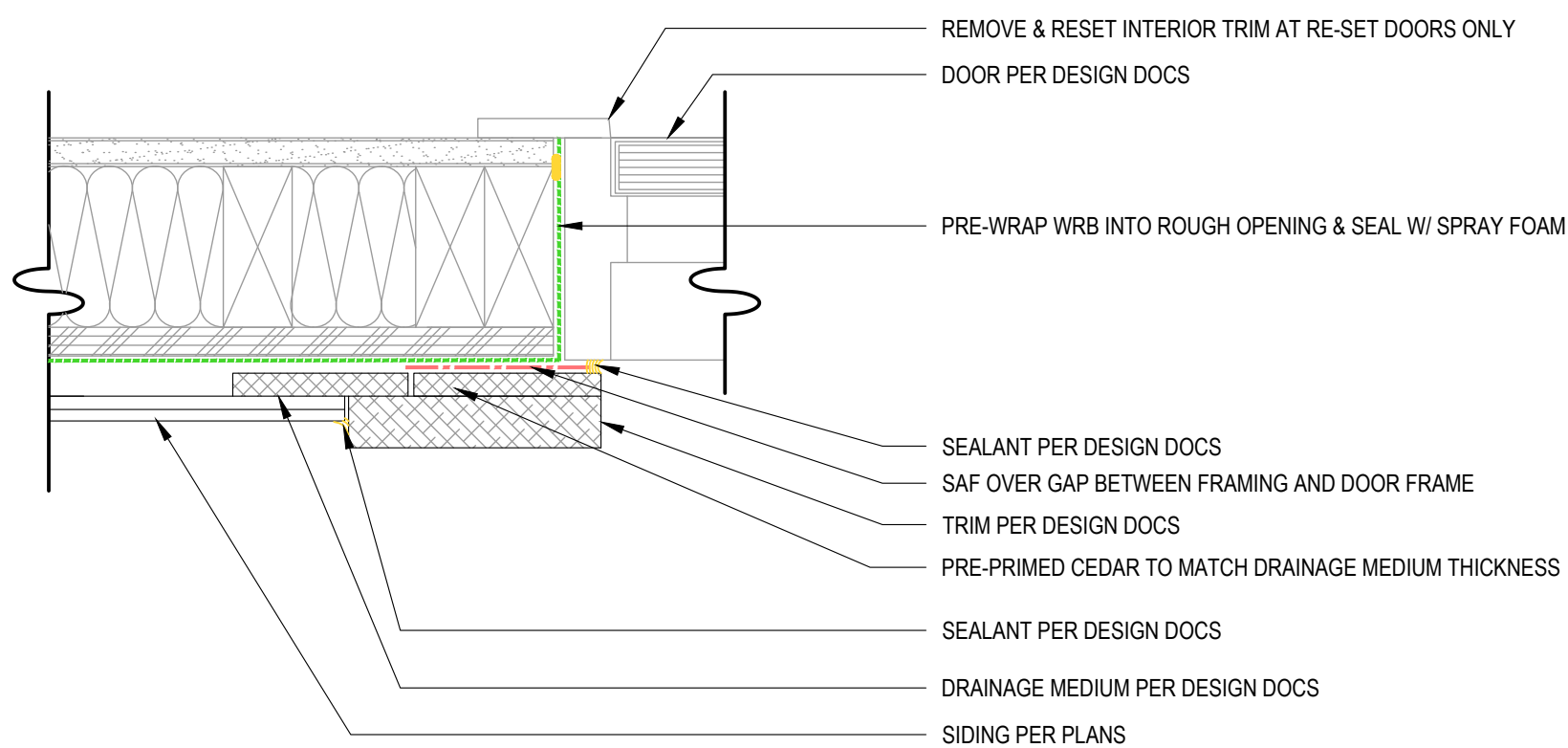
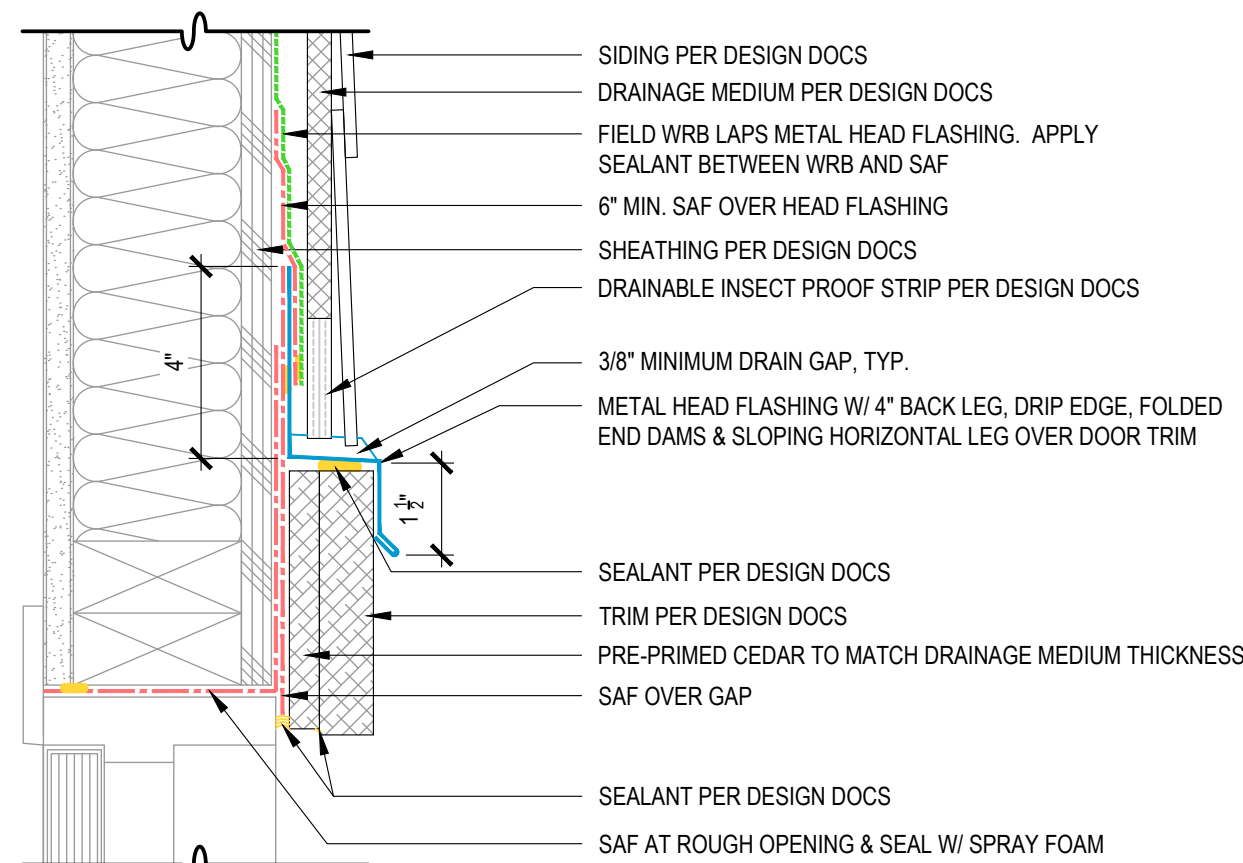
1 / W2.2 WINDOW / SGD HEAD - TYPICAL SIDING / FLANGED WINDOW

ID: 415
SCALE: NTS

2 / W2.2 WINDOW JAMB - TYPICAL SIDING - FLANGED WINDOW

ID: 209
SCALE: NTS

3 / W2.2 WINDOW SILL - TYPICAL SIDING / FLANGED WINDOW

ID: 25
SCALE: NTS

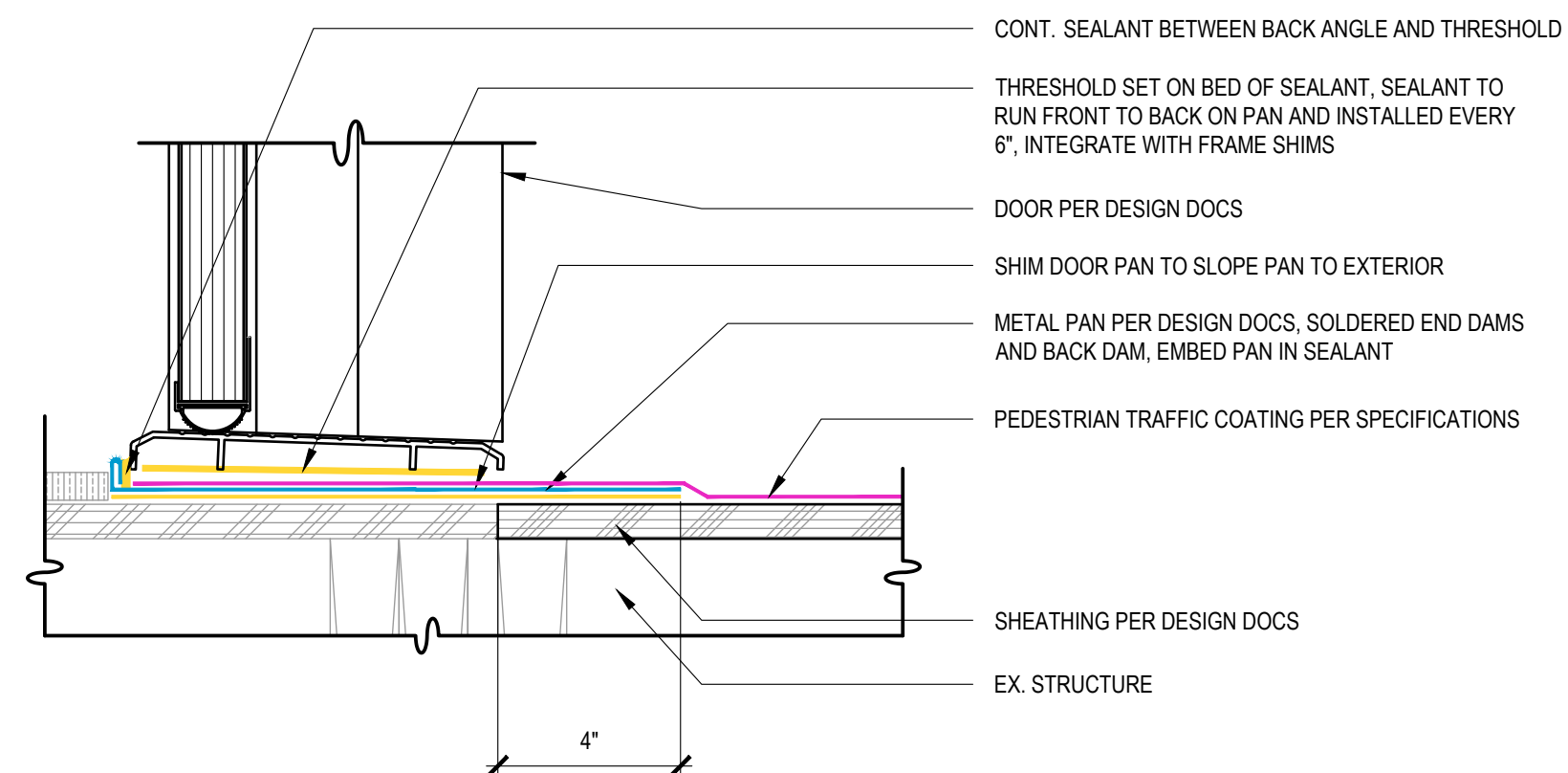
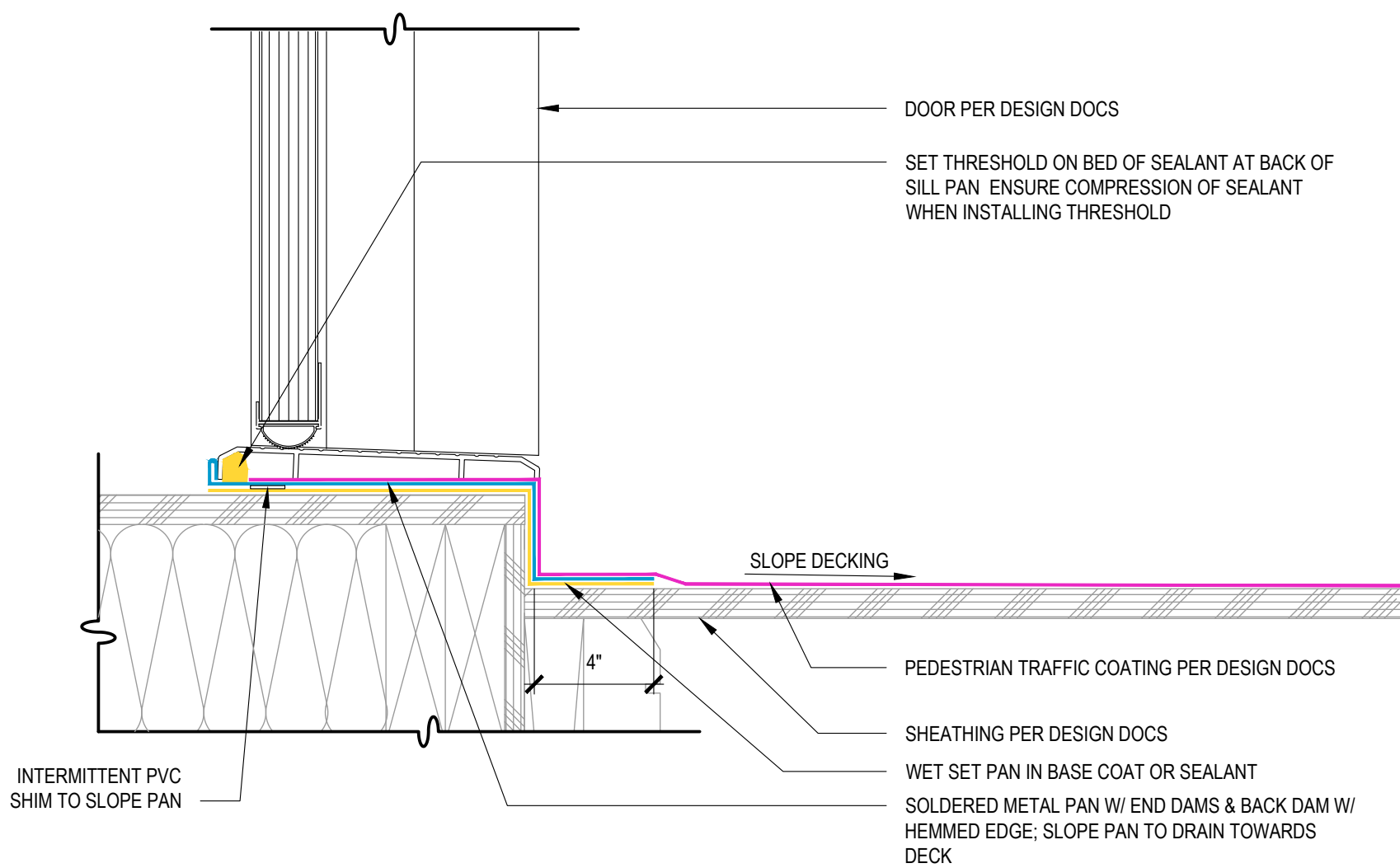
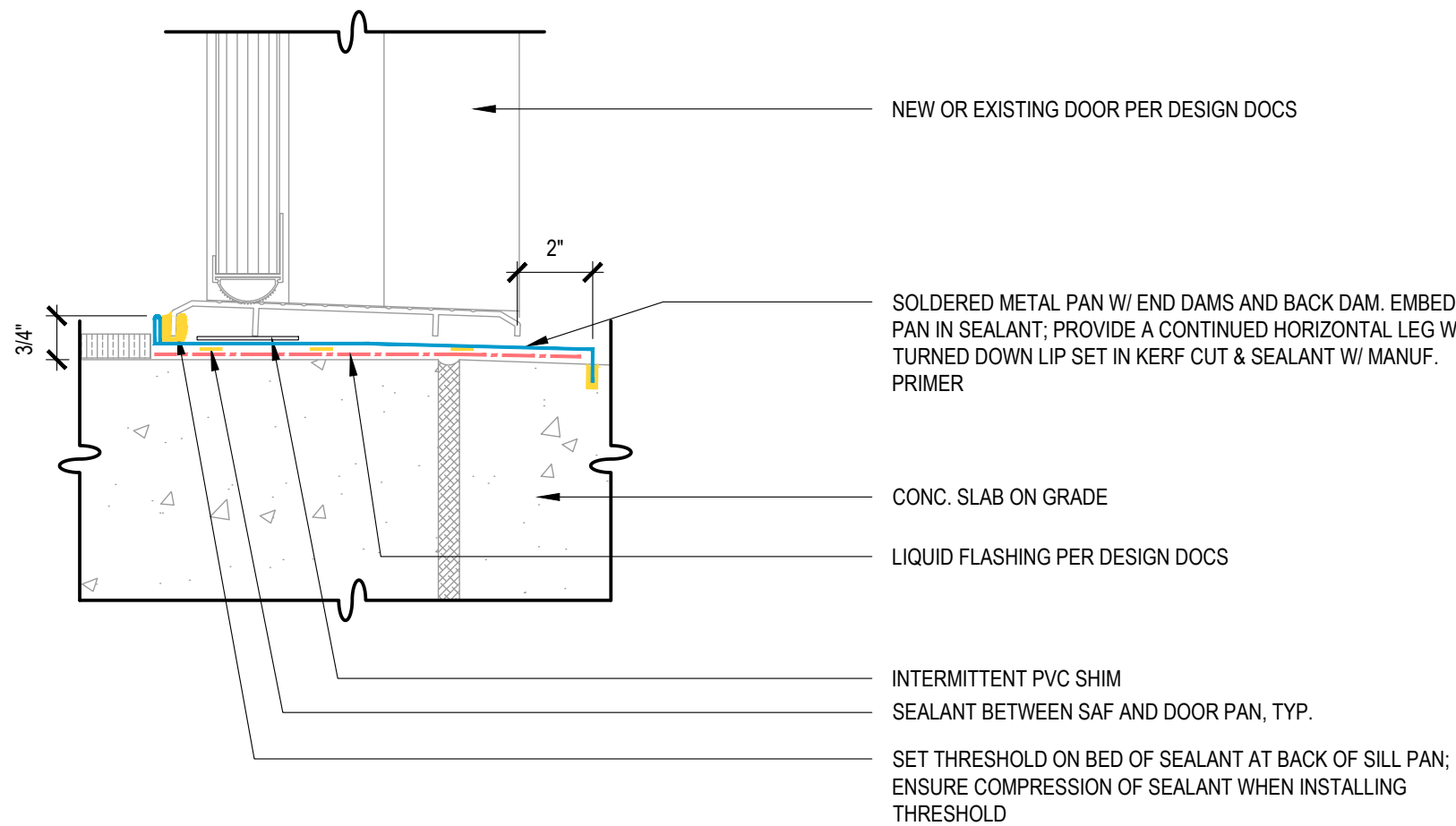
4 / W2.2 SWING DOOR HEAD - TYPICAL SIDING

ID: 28
SCALE: NTS

5 / W2.2 SWING DOOR JAMB - TYPICAL SIDING

ID: 31
SCALE: NTS

6 / W2.2 SWING DOOR SILL - SLAB ON GRADE

ID: 38
SCALE: NTS

7 / W2.2 SWING DOOR SILL FLUSH TRANSITION - CONCRETE

ID: 456
SCALE: NTS

8 / W2.2 SWING DOOR SILL - PLYWOOD/TRAFFIC COATING

ID: 41
SCALE: NTS

9 / W2.2 SWING DOOR SILL FLUSH TRANSITION - PEDESTRIAN TRAFFIC COATING

ID: 253
SCALE: NTS

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Revisions:

Δ	Date	Description

Project Title:

**PACIFIC VIEW
CONDOMINIUMS**

BUILDING ENVELOPE

Sheet Title:

**WEATHERIZATION
DETAILS - WINDOWS**

Scale: As Noted

BID SET

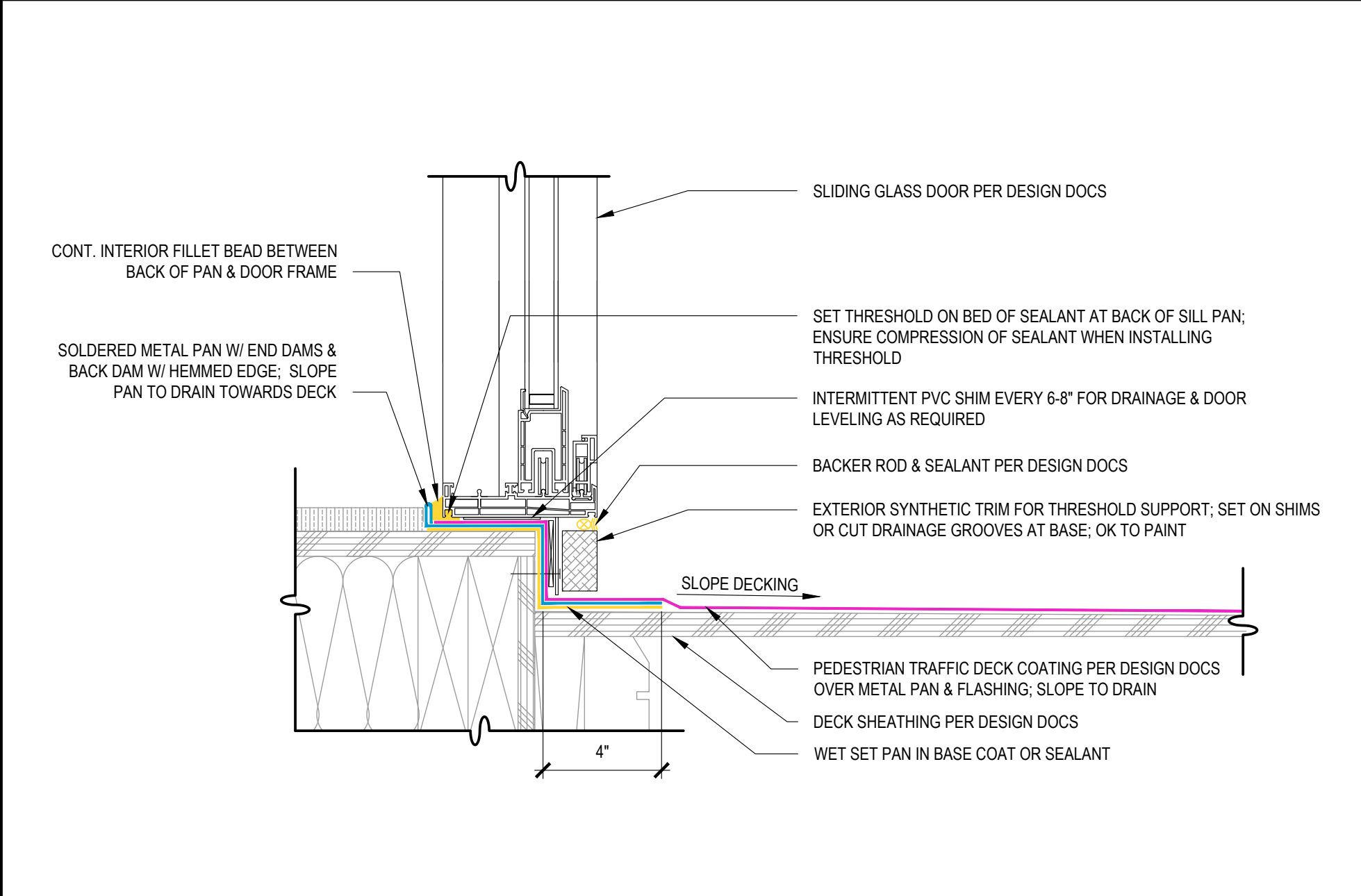
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Checked By: REPI/KJ

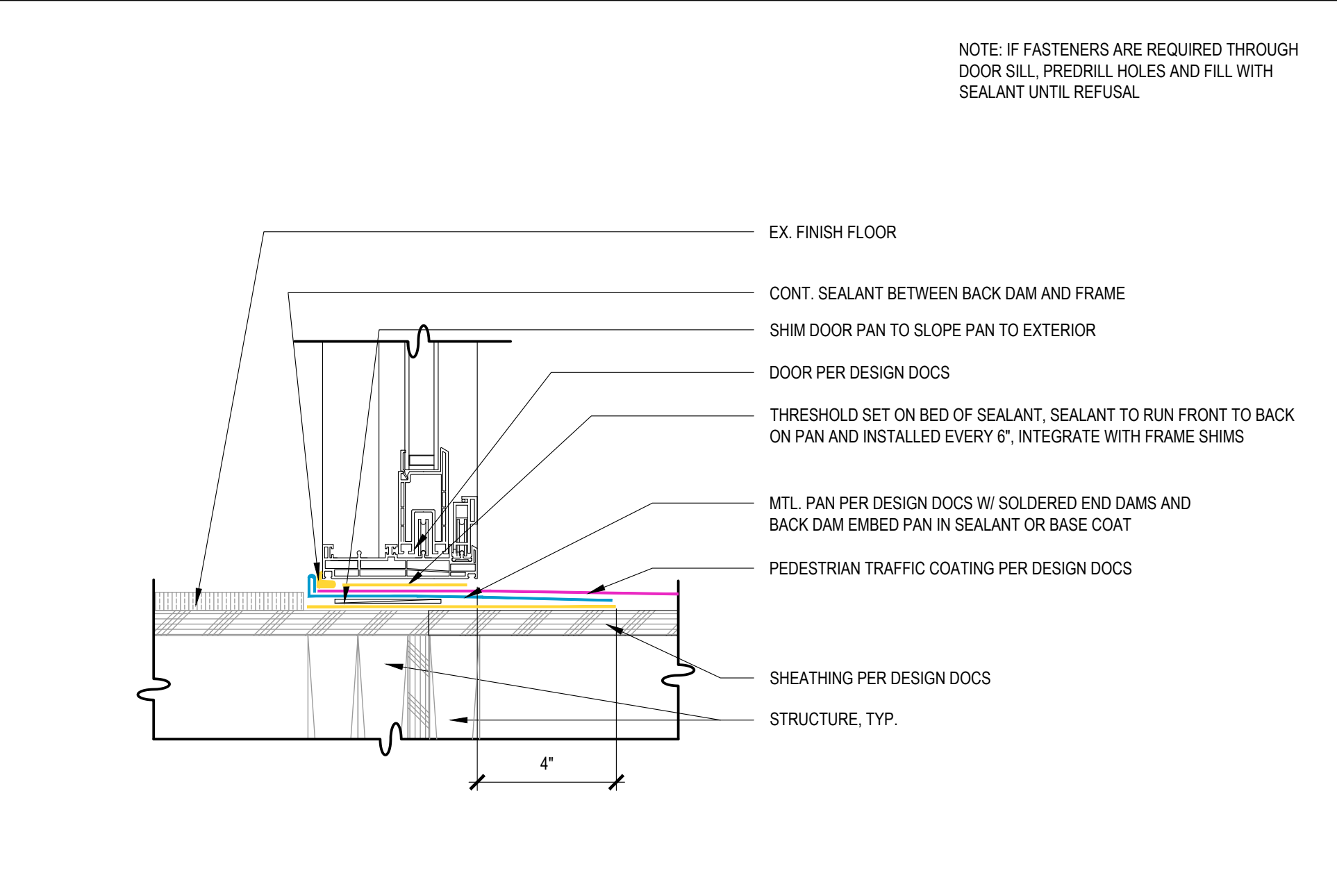
Issue Date: 11/22/2023

Job #: 5631001

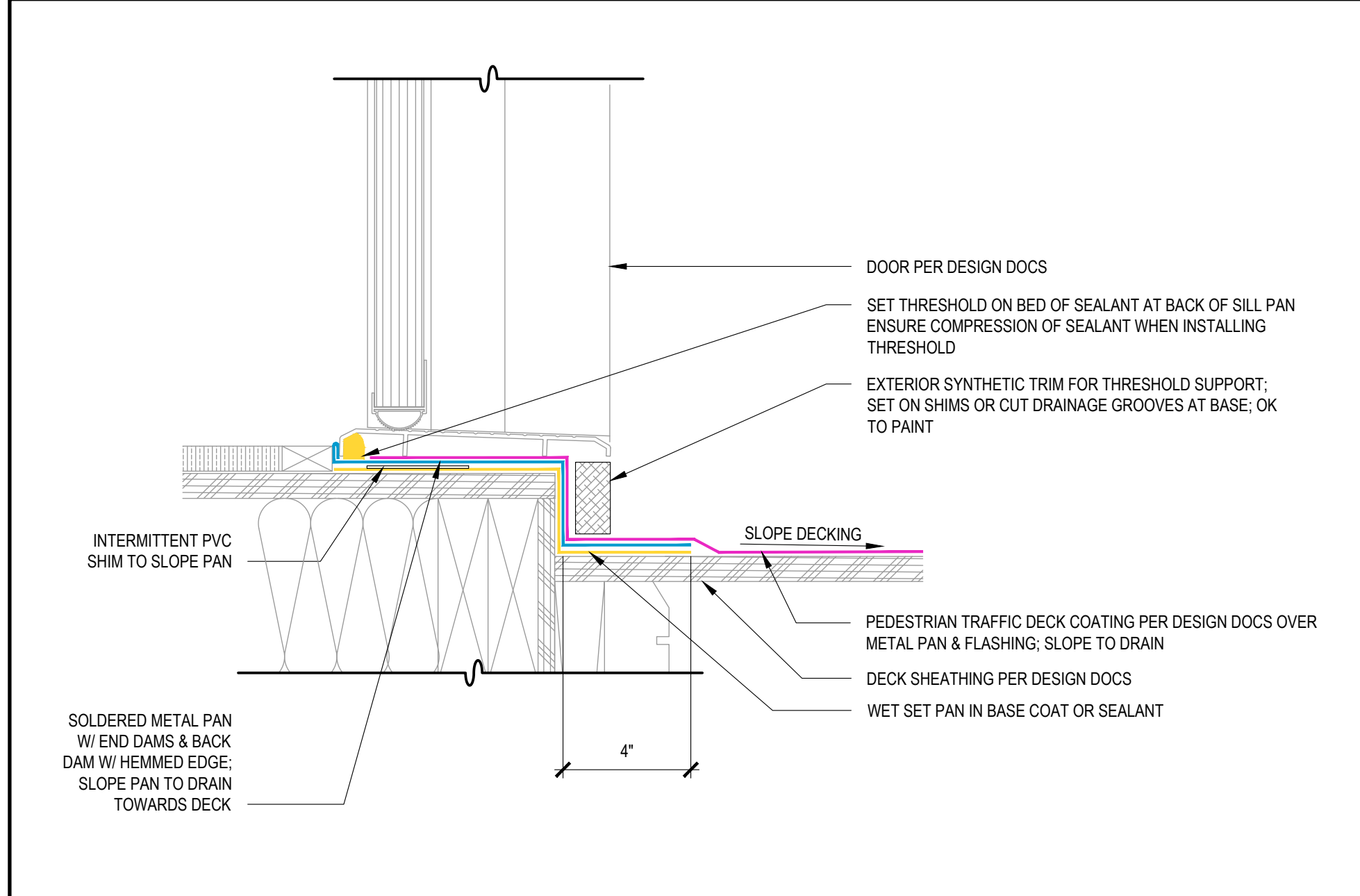
W2.3



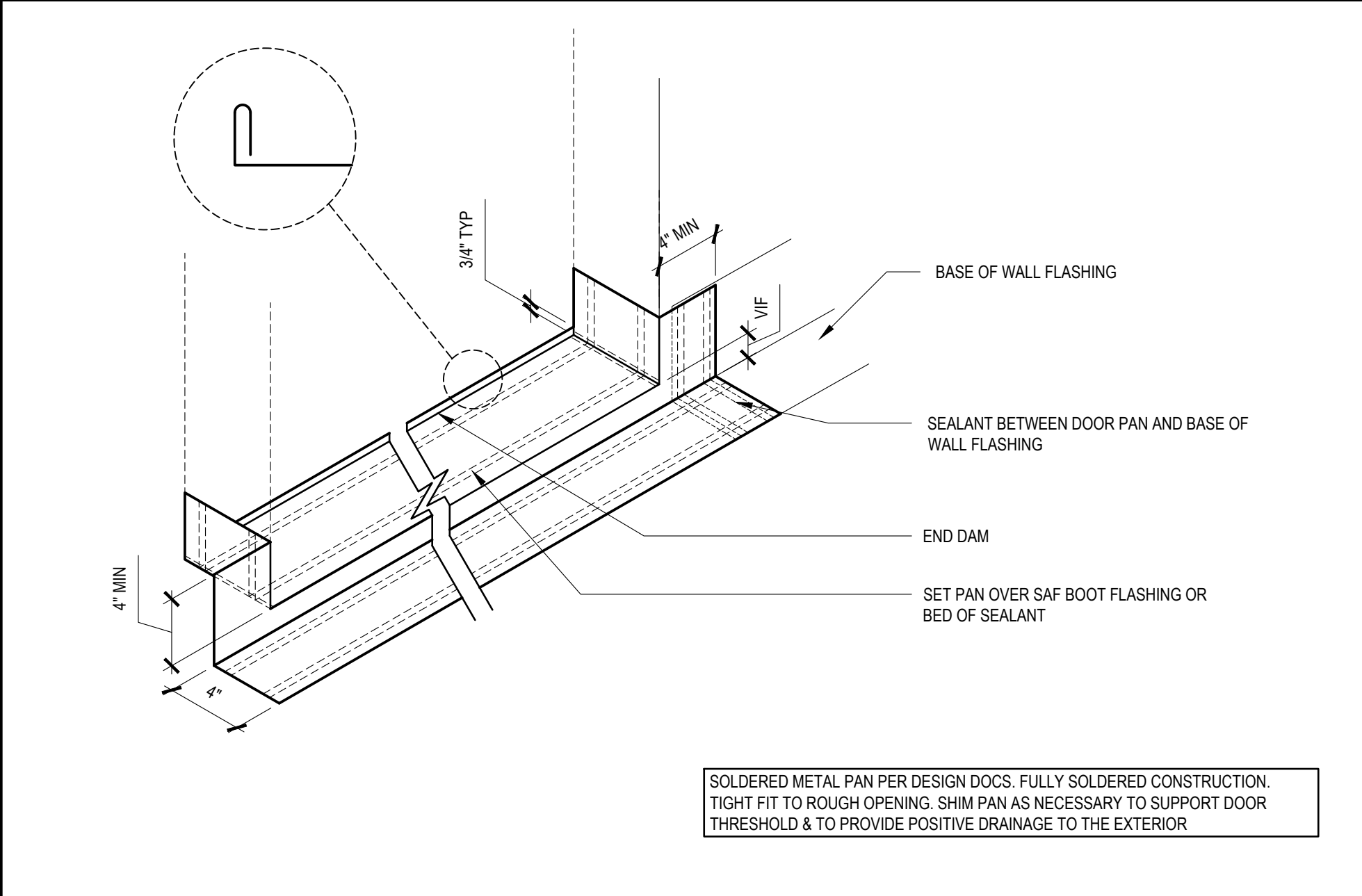
3 / W2.3 | SGD SILL - PLYWOOD/TRAFFIC COATING | ID: 34 | SCALE: NTS



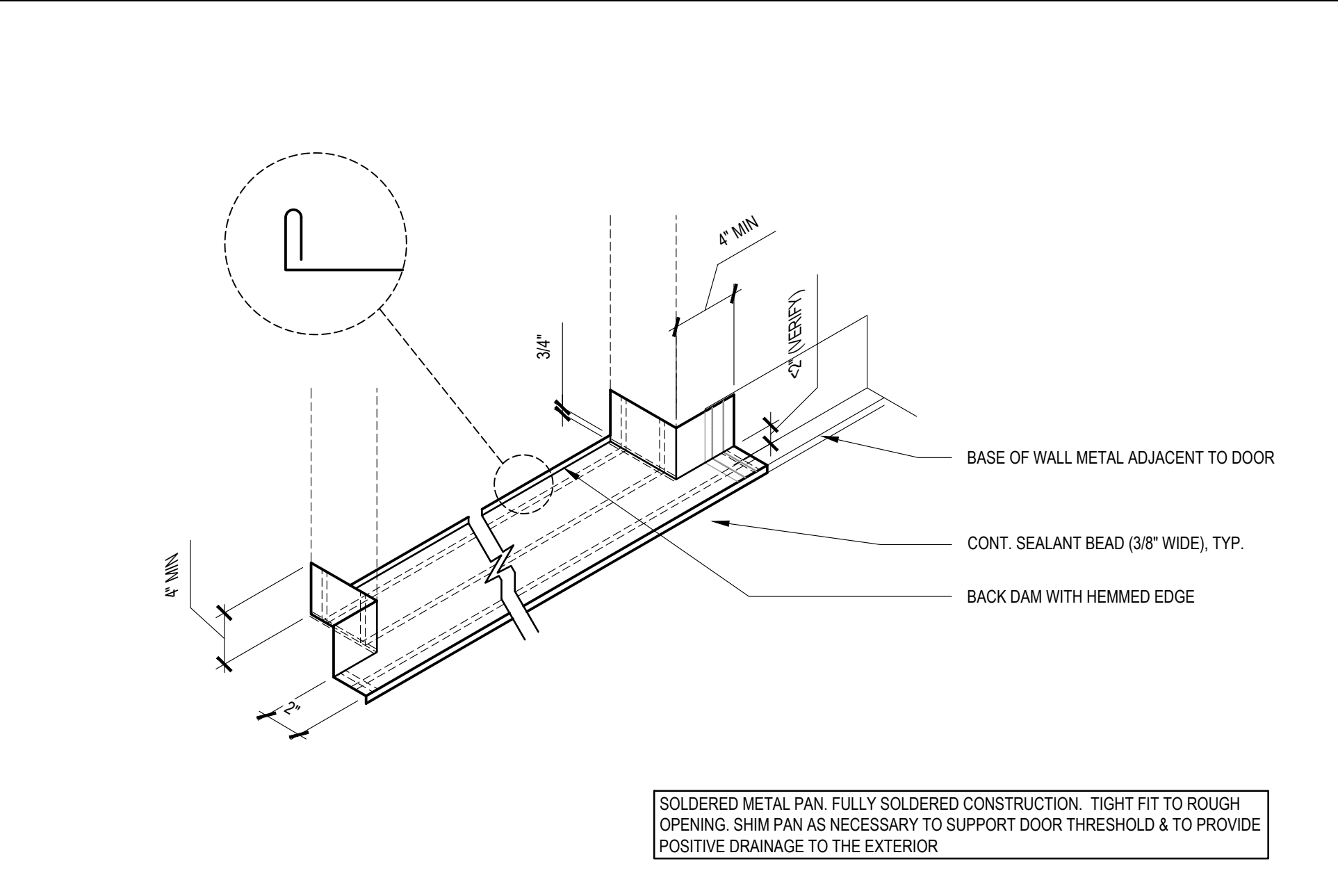
2 / W2.3 | SLIDING GLASS DOOR SILL FLUSH TRANSITION - PEDESTRIAN TRAFFIC COATING | ID: 252 | SCALE: NTS



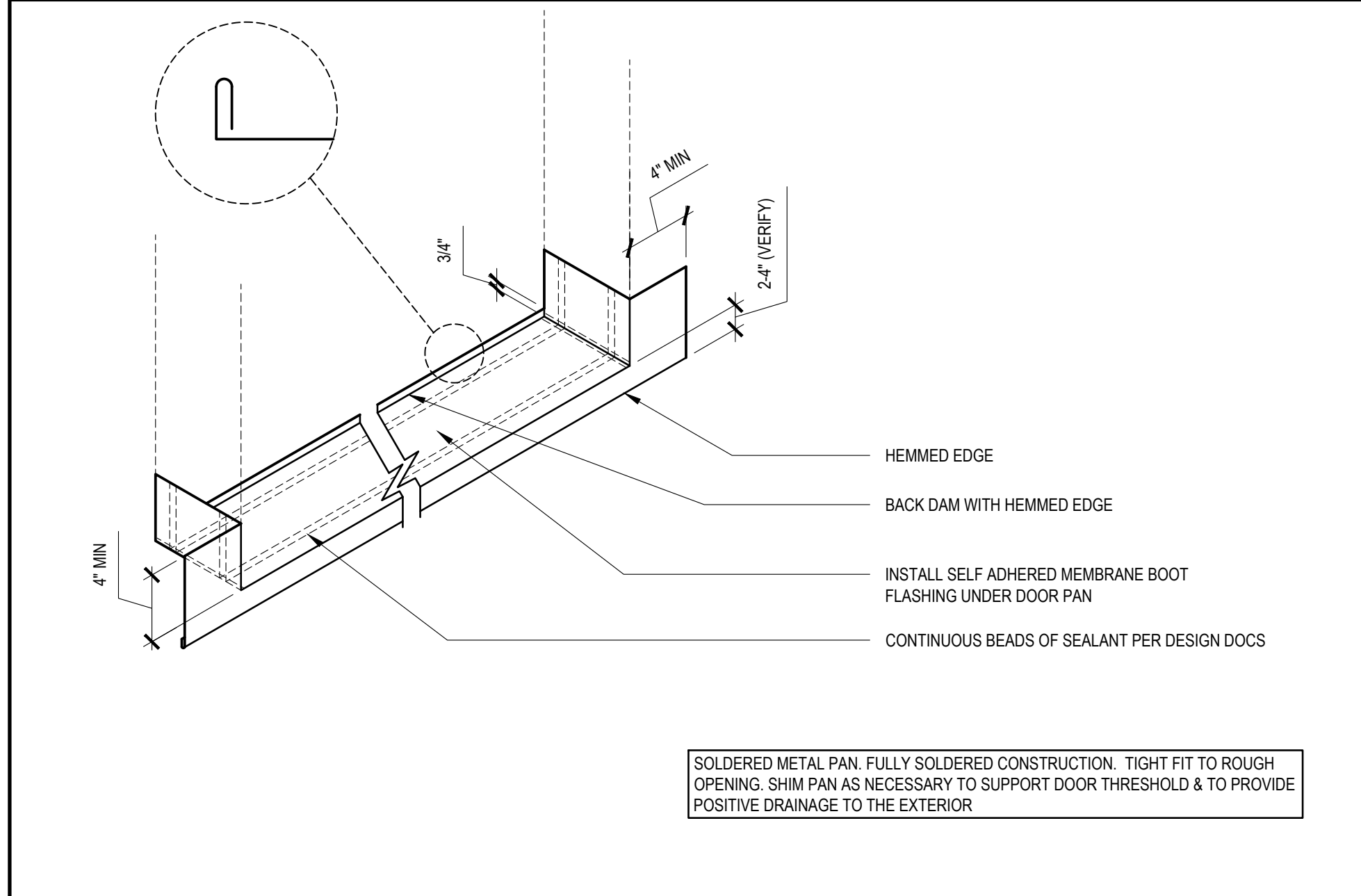
1 / W2.3 | SWING DOOR SILL - PLYWOOD/TRAFFIC COATING | ID: 565 | SCALE: NTS



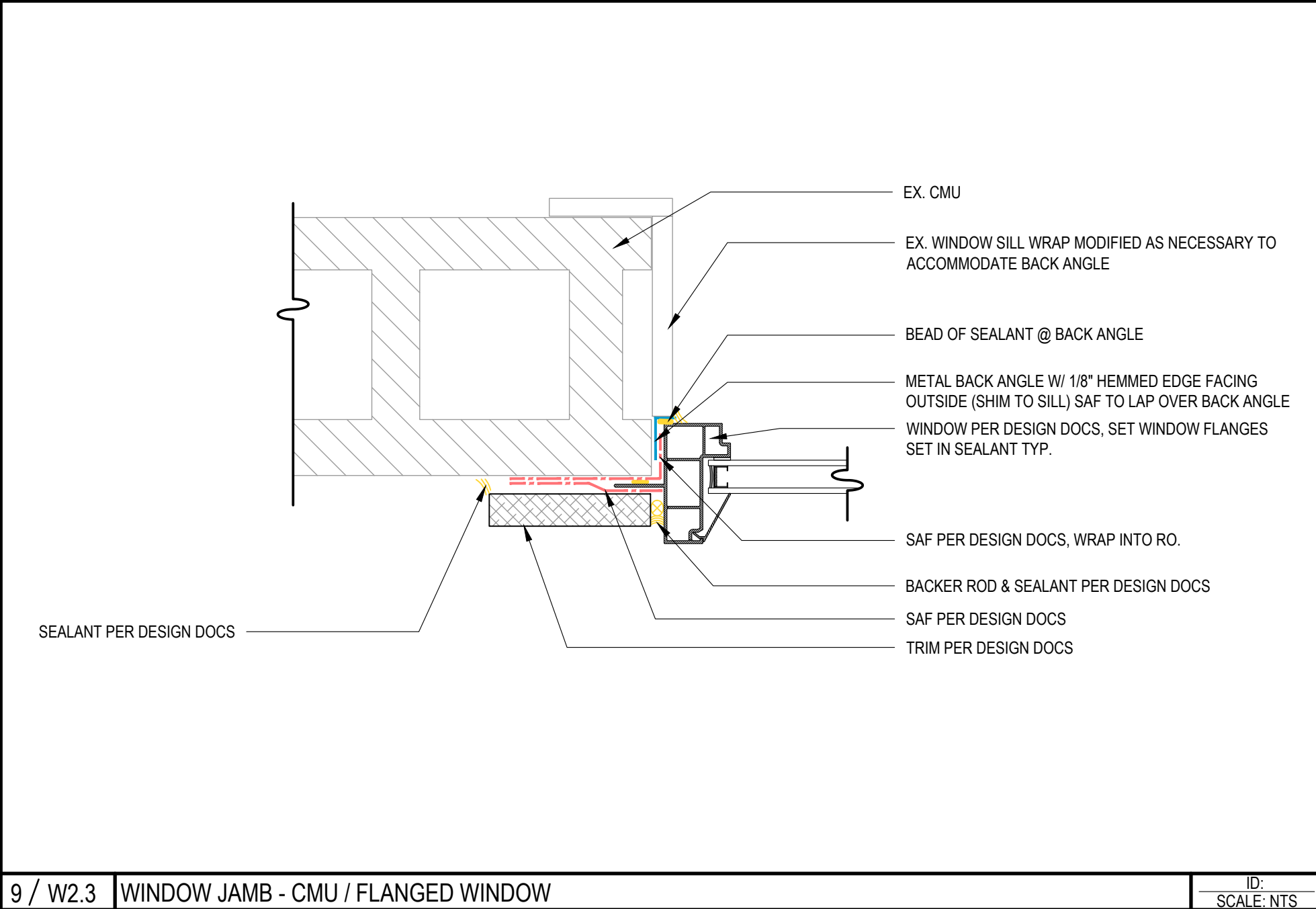
6 / W2.3 | SWING DOOR SILL FLUSH TRANSITION - PEDESTRIAN TRAFFIC COATING | ID: 1101 | SCALE: NTS



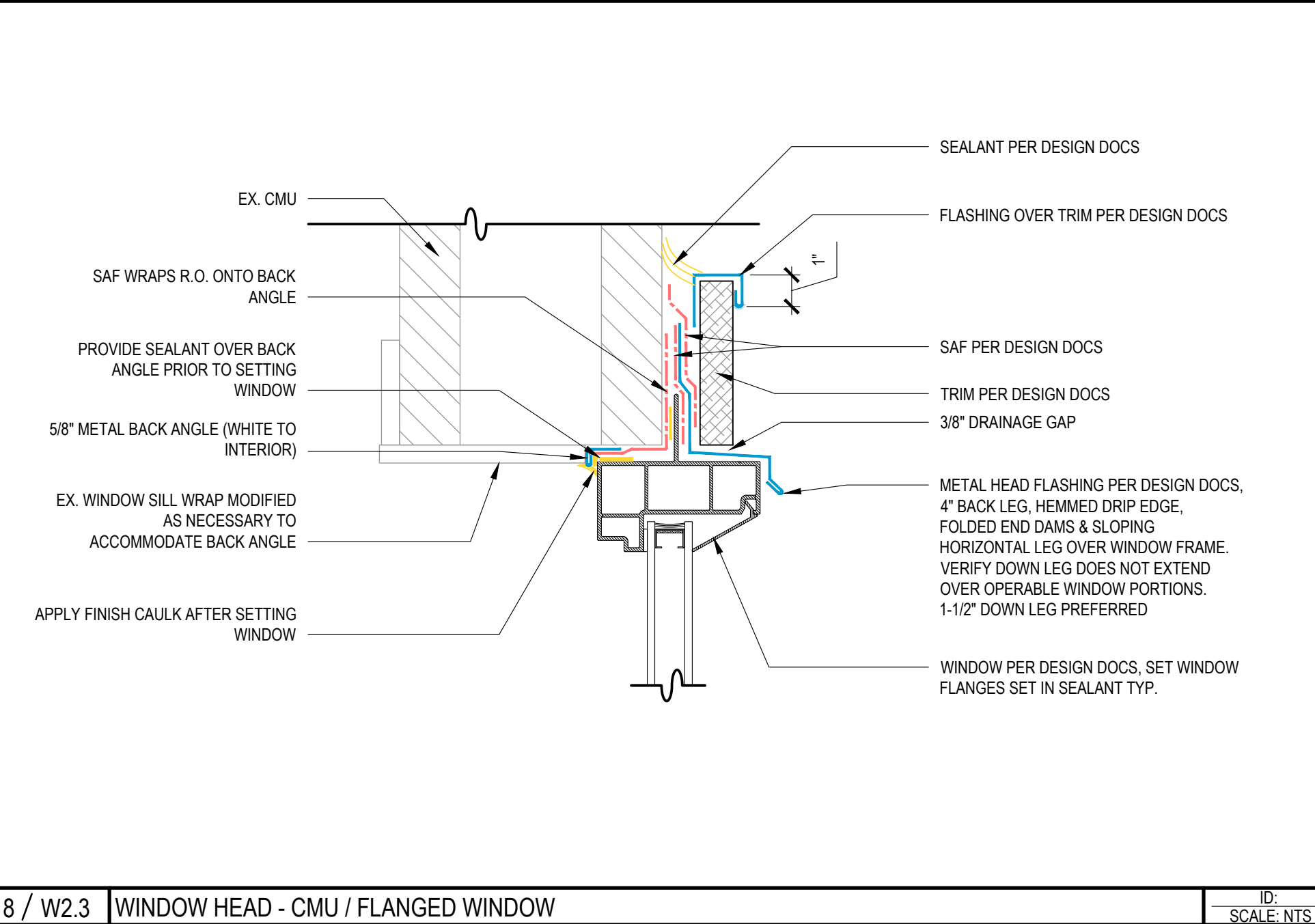
5 / W2.3 | TYPICAL DOOR PAN - FLUSH TRANSITION | ID: 567 | SCALE: NTS



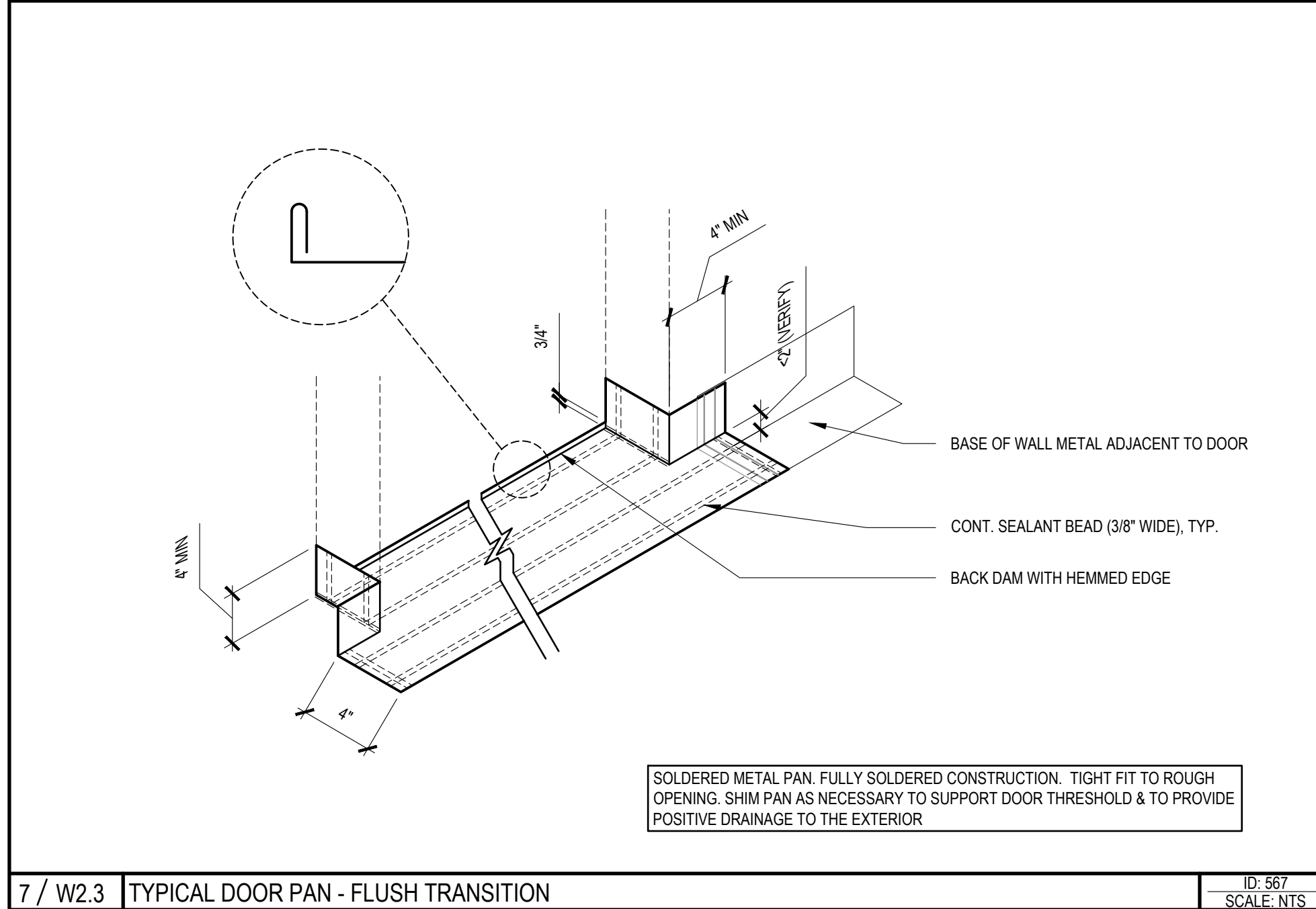
4 / W2.3 | TYPICAL DOOR PAN | ID: 725 | SCALE: NTS



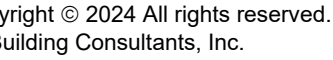
9 / W2.3 | WINDOW JAMB - CMU / FLANGED WINDOW | ID: | SCALE: NTS



8 / W2.3 | WINDOW HEAD - CMU / FLANGED WINDOW | ID: | SCALE: NTS



7 / W2.3 | TYPICAL DOOR PAN - FLUSH TRANSITION | ID: 567 | SCALE: NTS



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Revisions

[illegible]

Project Title:

PACIFIC VIEW CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

WEATHERIZATION DETAILS - WINDOWS

Scale: As Noted

SID SET

Drawn By:	MEB/JMM
Checked By:	REP/JKJ
Issue Date:	Sheet Number:
1/22/2023	W2.4
Job #:	
631001	

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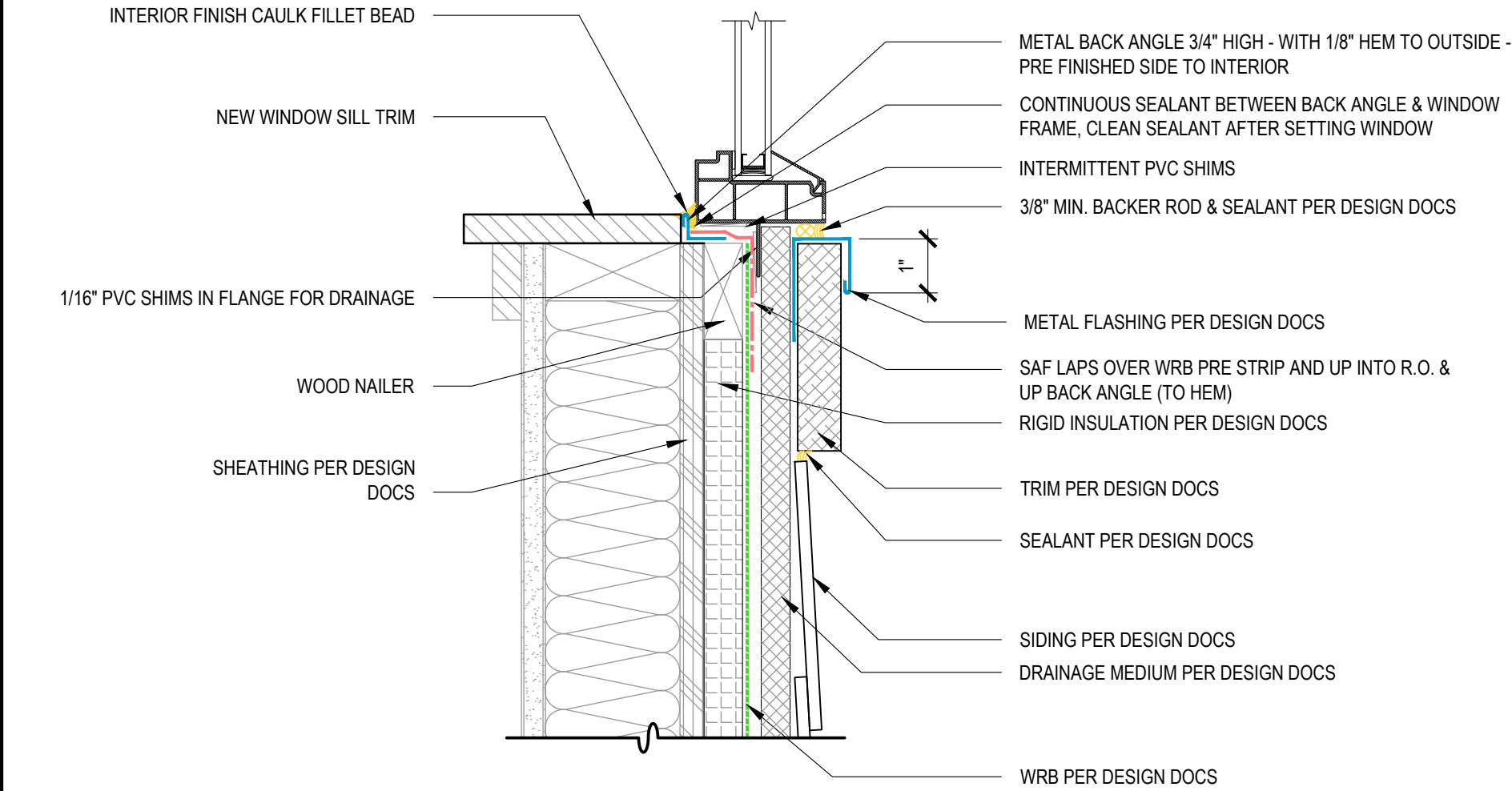
Revisions:		
Δ	Date	Description

Project Title:
**PACIFIC VIEW
CONDOMINIUMS**
BUILDING ENVELOPE

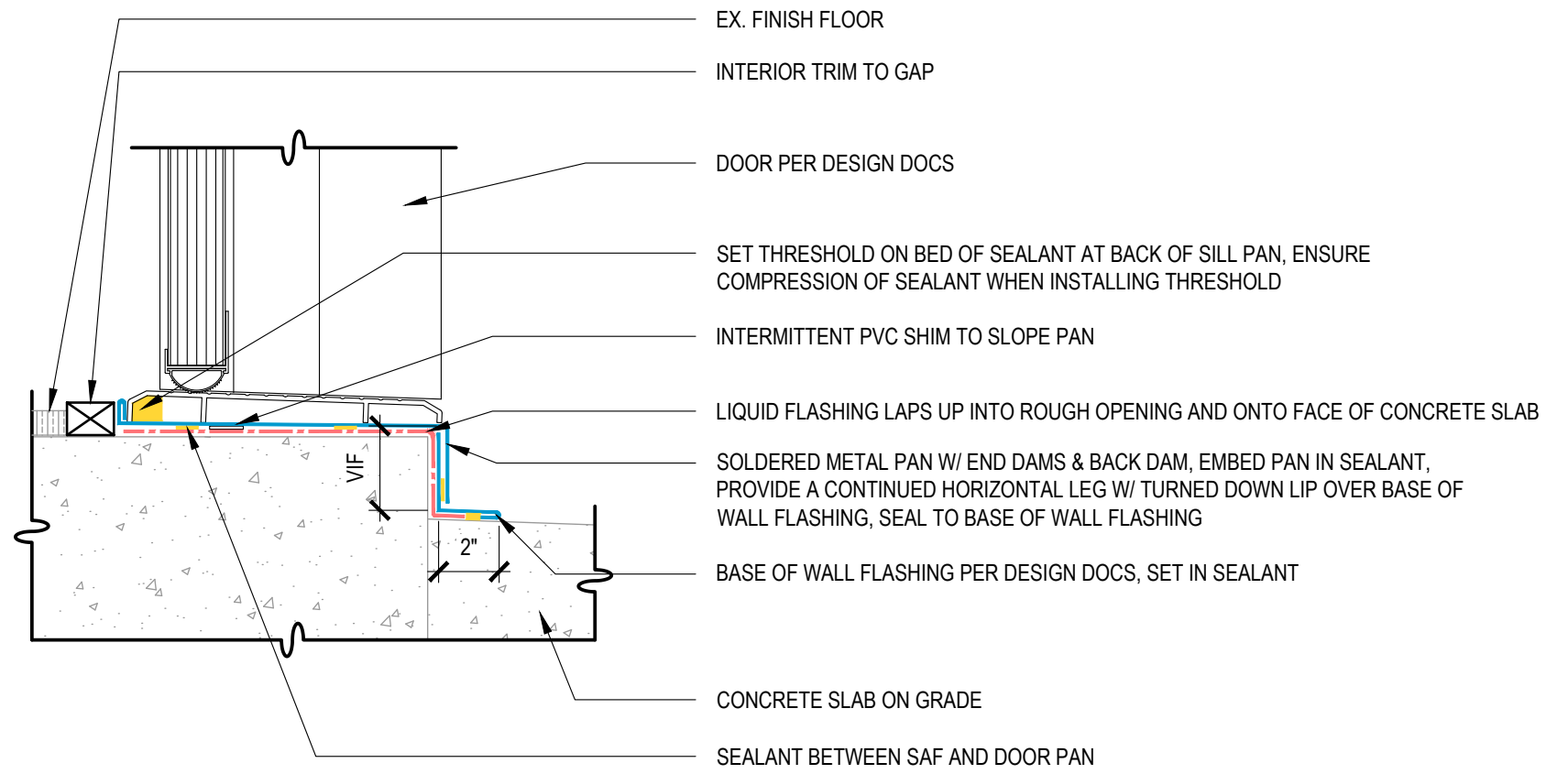
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**WEATHERIZATION
DETAILS - WINDOWS**

Scale: As Noted

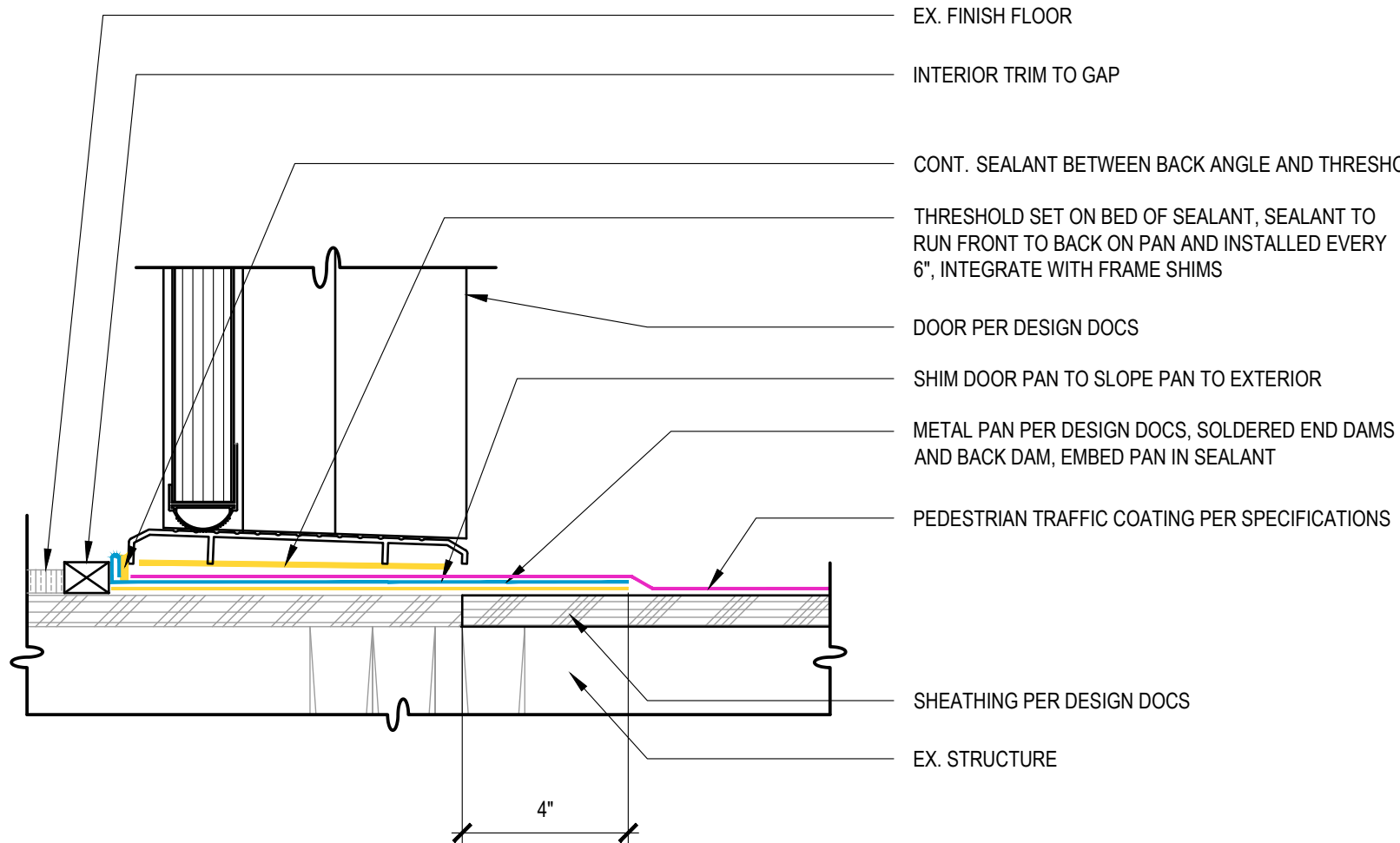
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Drawn By:	MEB/JMM
Checked By:	REPI/KJ
Issue Date:	Sheet Number:
11/22/2023	W2.5
Job #:	5631001



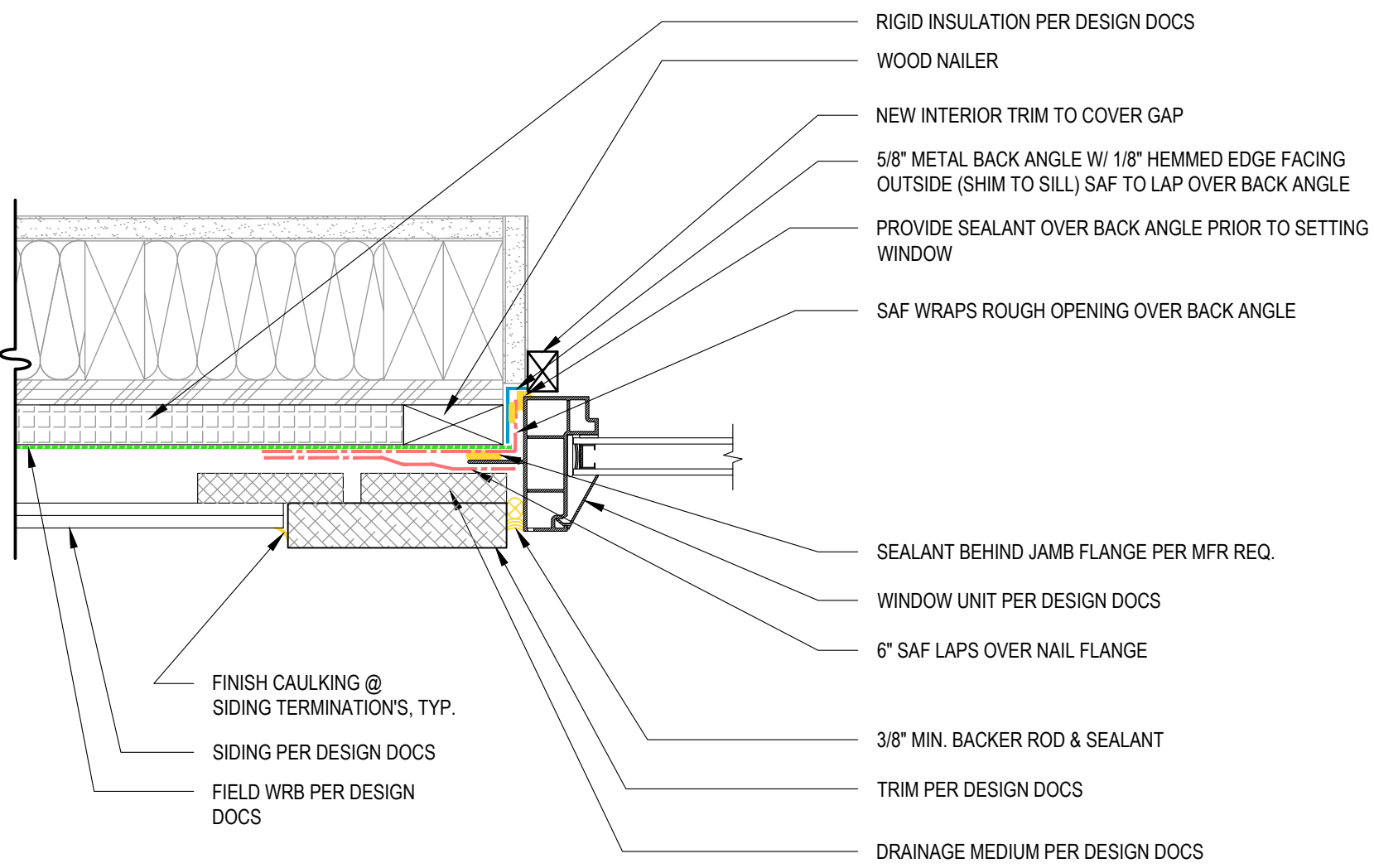
3 / W2.5 WINDOW / SGD SILL - TYPICAL SIDING / FLANGED WINDOW / EXTERIOR INSULATION



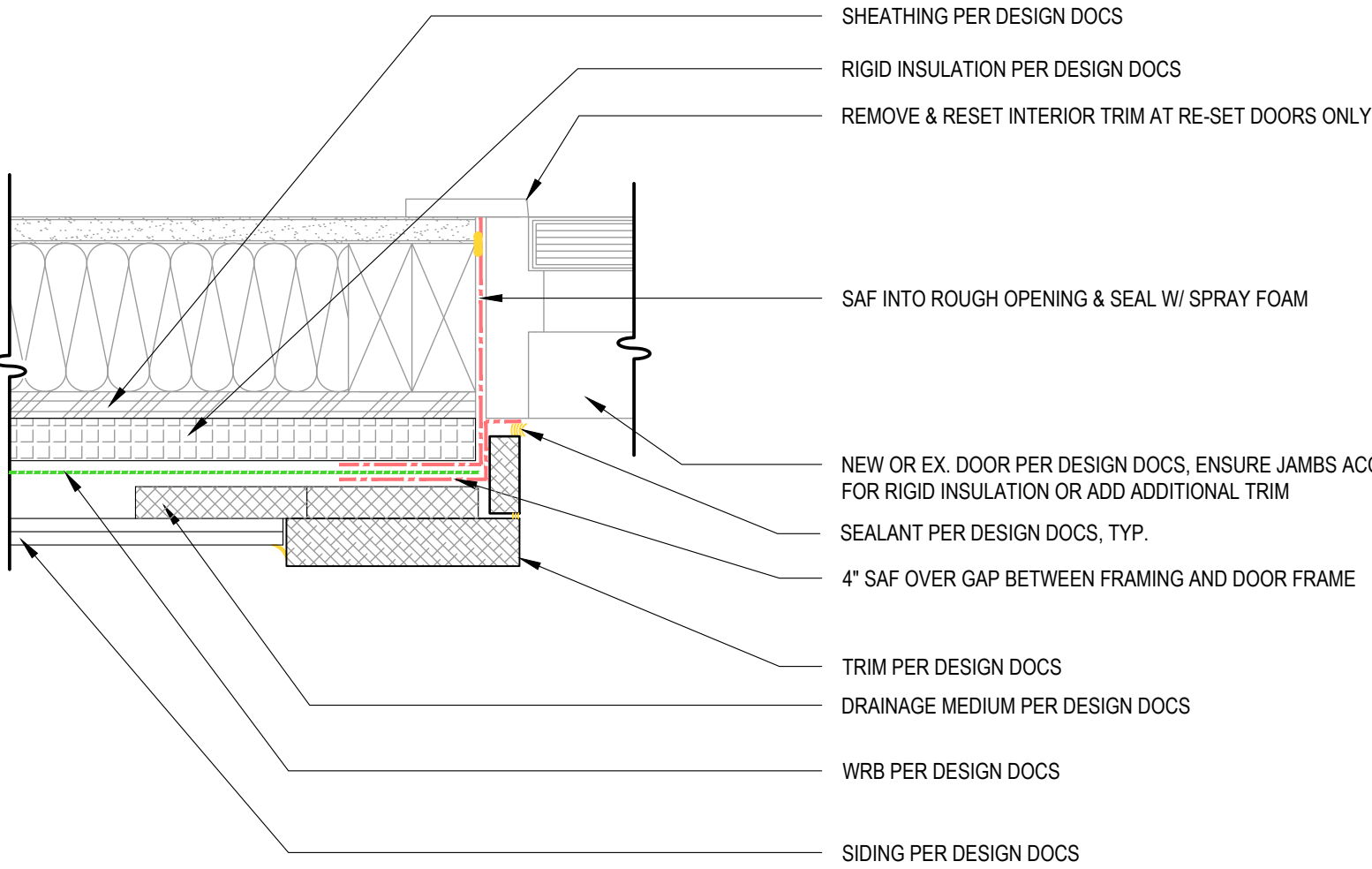
6 / W2.5 SWING DOOR SILL - SLAB ON GRADE / EXTERIOR INSULATION



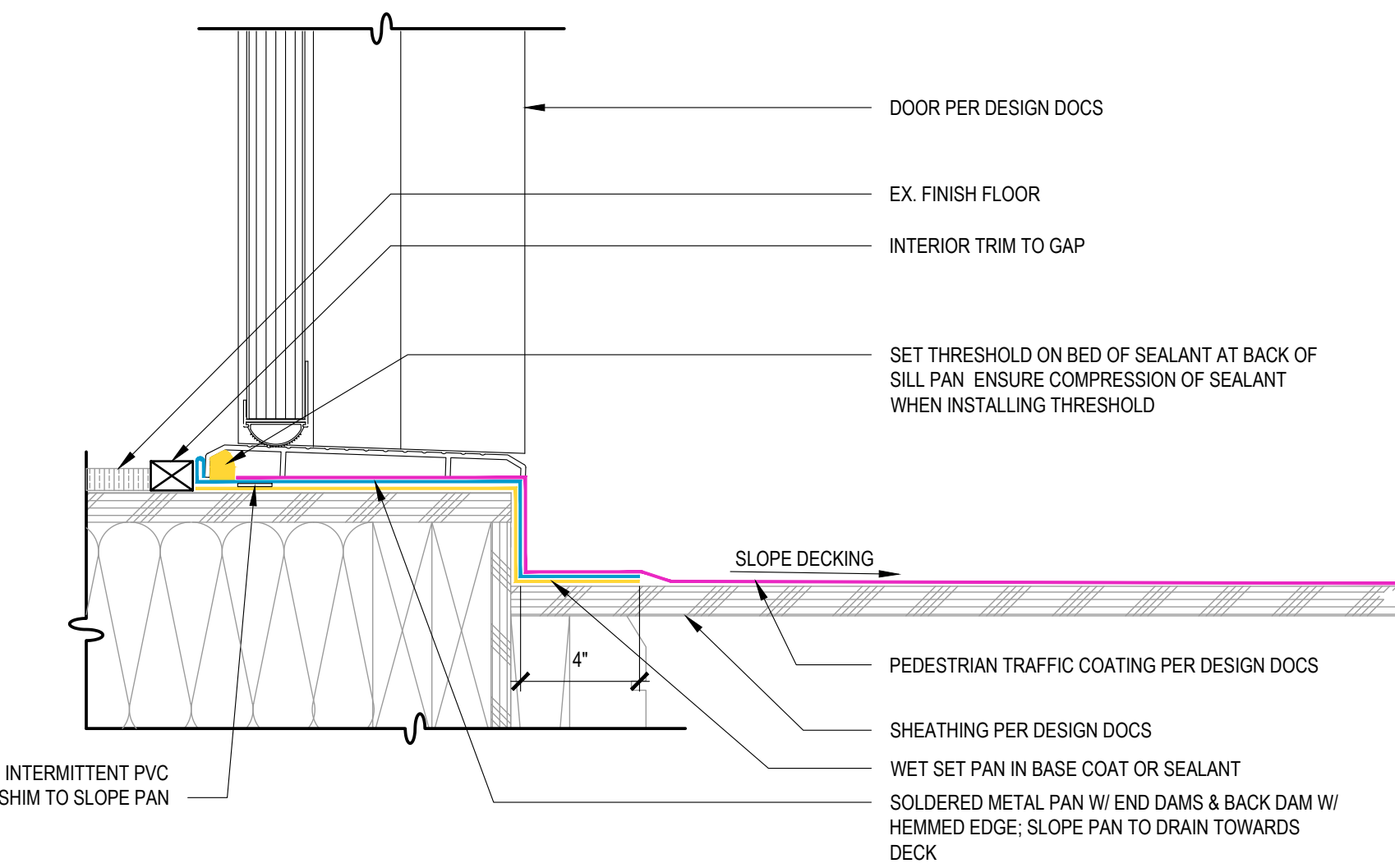
9 / W2.5 SWING DOOR SILL FLUSH TRANSITION - PEDESTRIAN TRAFFIC COATING / EXTERIOR INSULATION



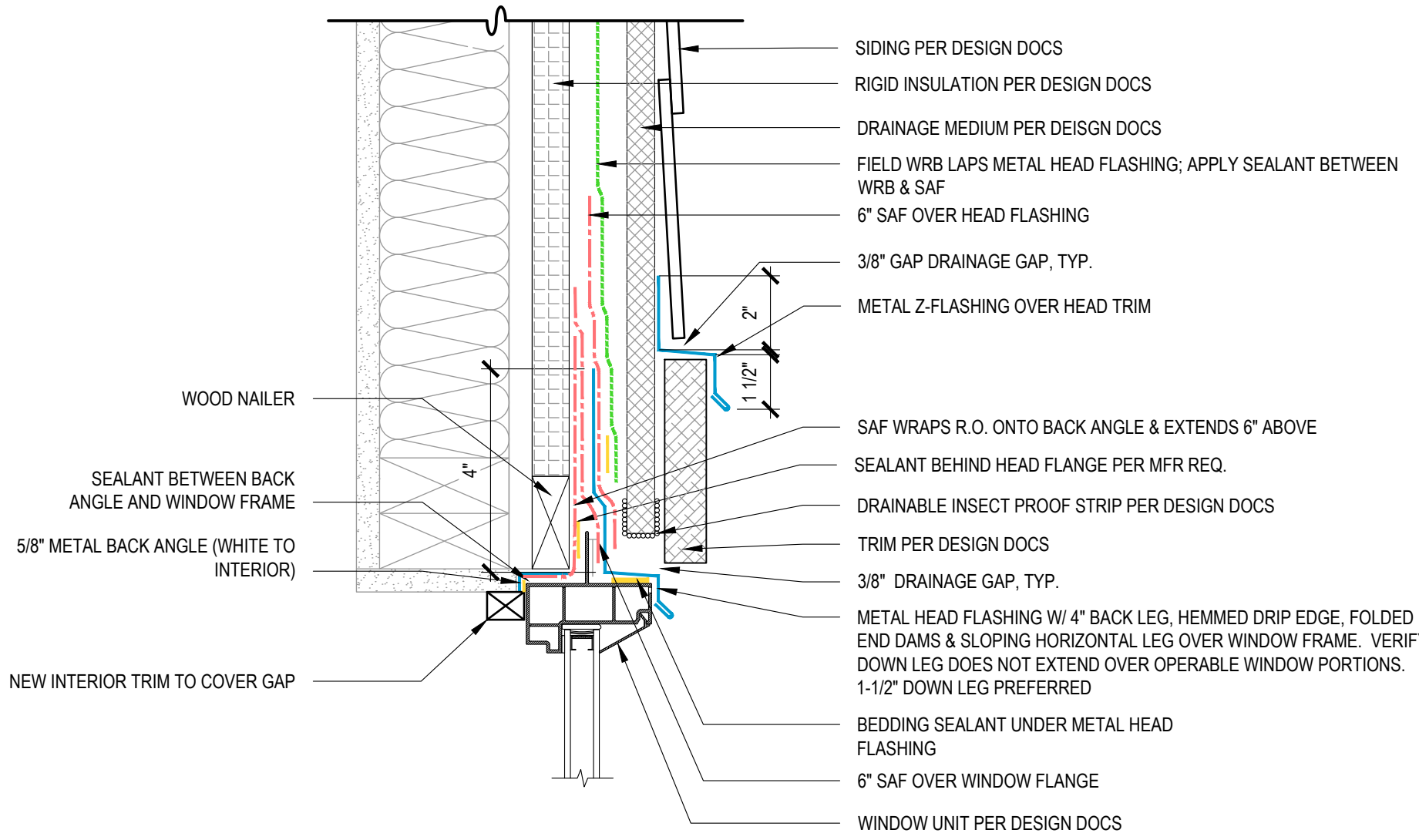
2 / W2.5 WINDOW / SGD JAMB - TYPICAL SIDING / FLANGED WINDOW / EXTERIOR INSULATION



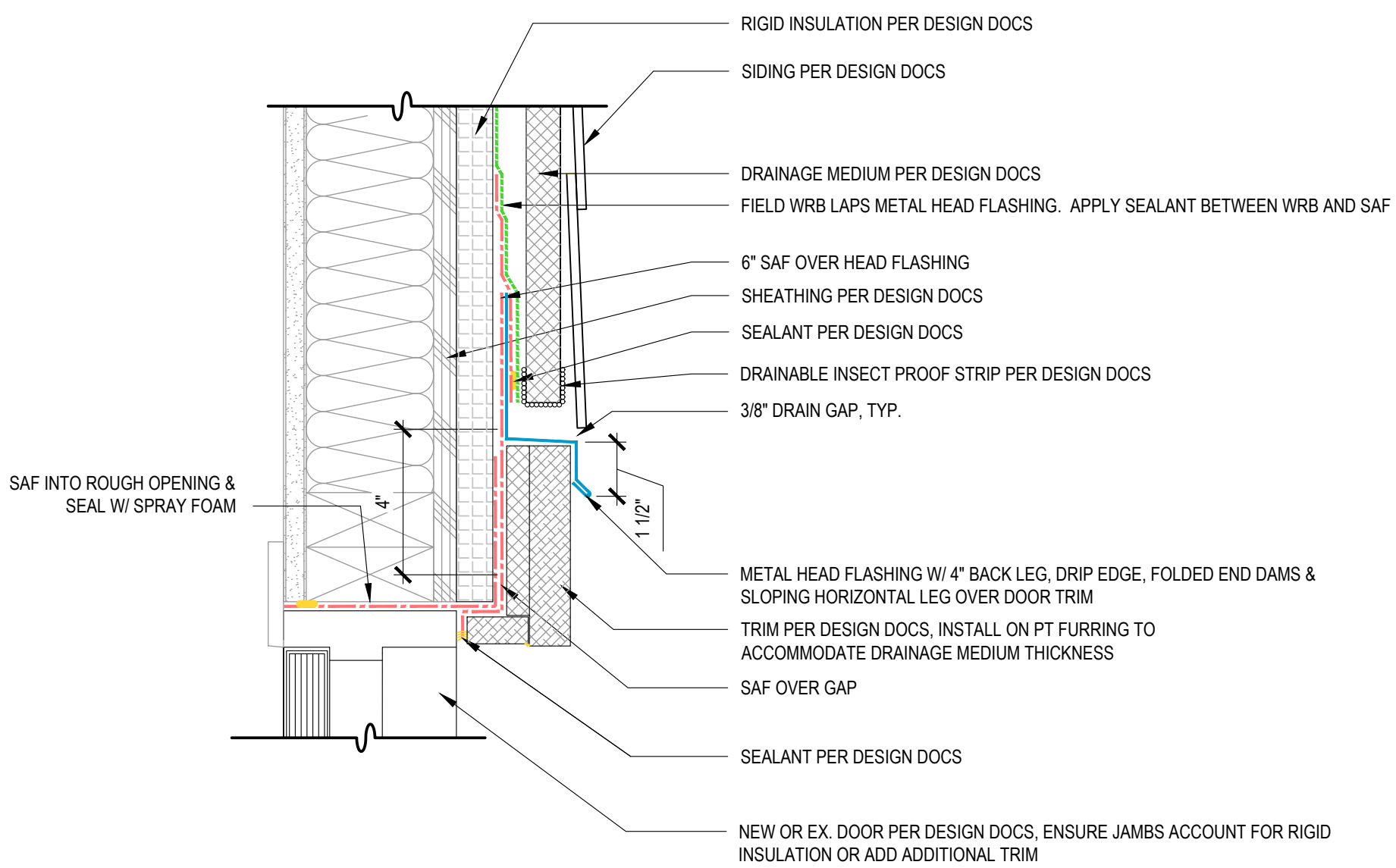
5 / W2.5 SWING DOOR JAMB - TYPICAL SIDING/EXTERIOR INSULATION



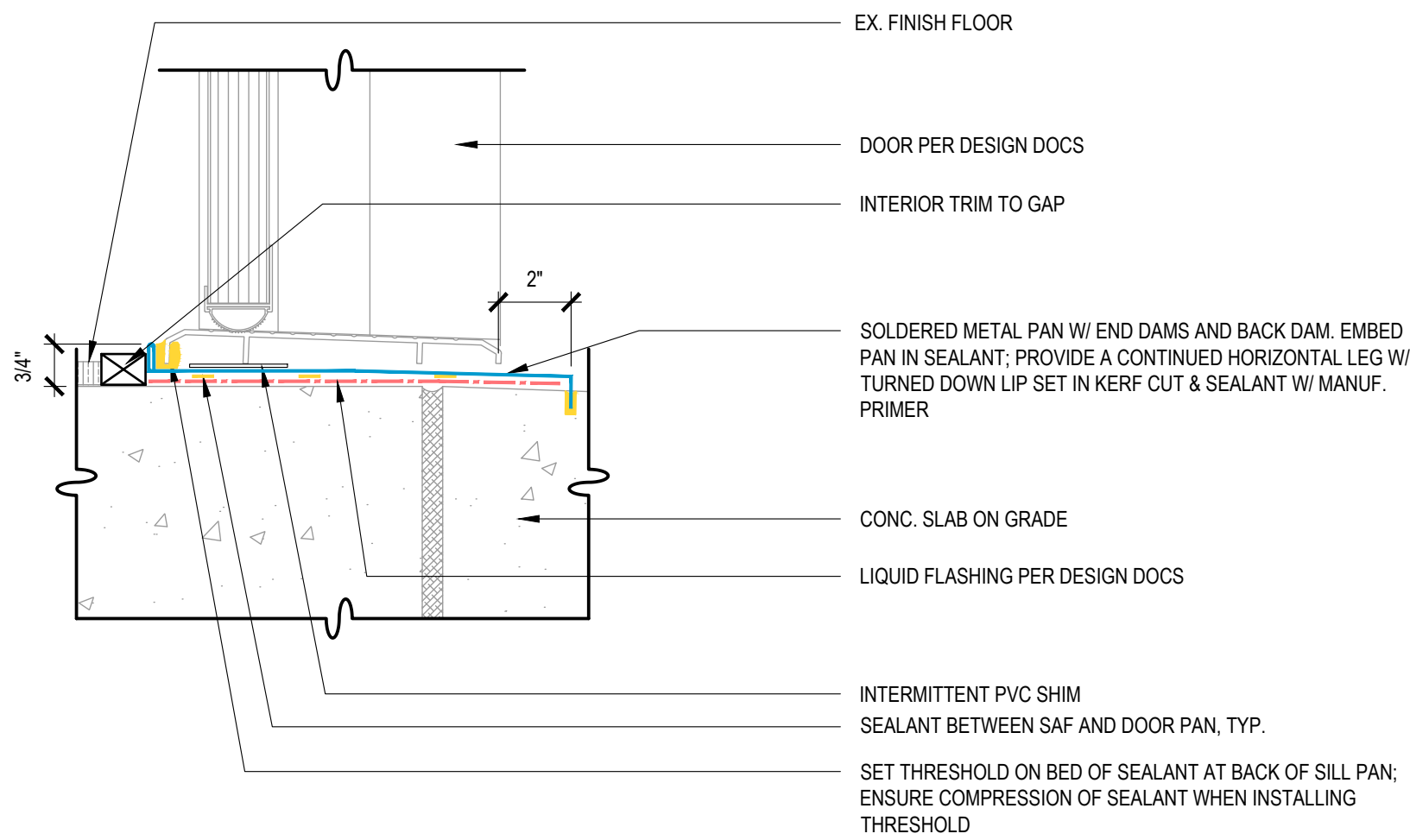
8 / W2.5 SWING DOOR SILL - PLYWOOD/TRAFFIC COATING / EXTERIOR INSULATION



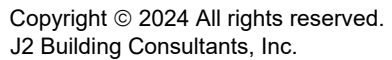
1 / W2.5 WINDOW / SGD HEAD - TYPICAL SIDING / FLANGED WINDOW / EXTERIOR INSULATION



4 / W2.5 SWING DOOR HEAD - VERTICAL SIDING/EXTERIOR INSULATION



7 / W2.5 SWING DOOR SILL FLUSH TRANSITION - CONCRETE / EXTERIOR INSULATION



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Revisions

[illegible]

Project Title:

PACIFIC VIEW CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

WEATHERIZATION DETAILS - WINDOWS

Scale: As Noted

BID SET

Drawn By:	MEB/JMM
Checked By:	REP/JKJ
Issue Date:	Sheet Number:
1/22/2023	W2.6
Job #: 5631001	

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**PACIFIC VIEW
CONDOMINIUMS**

BUILDING ENVELOPE

Sheet Title:

**WEATHERIZATION
DETAILS - WALLS**

Scale: As Noted

BID SET

Drawn By: MEB/UMM

Checked By: REPIJKJ

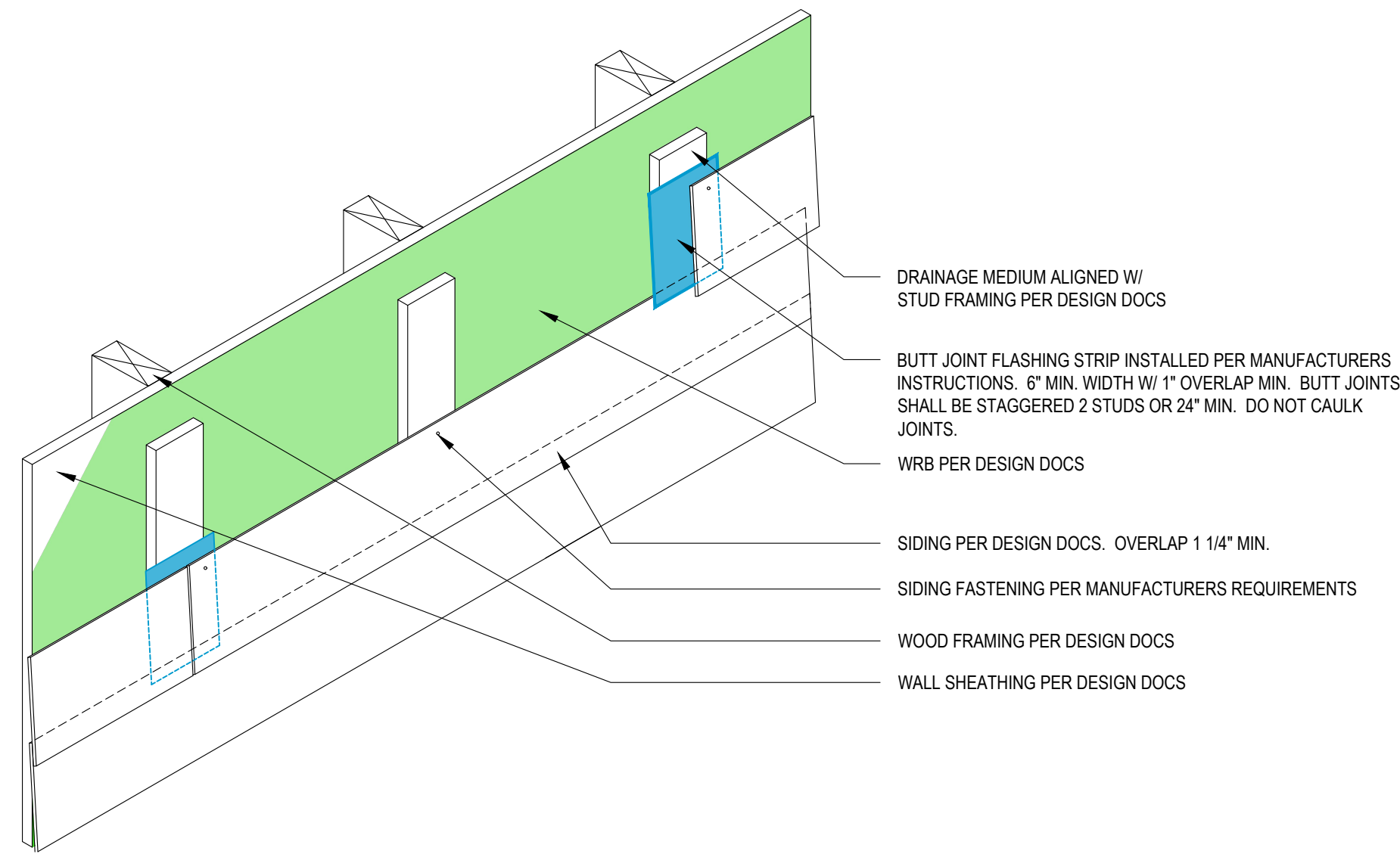
Issue Date: 11/22/2023

Sheet Number:

Job #:

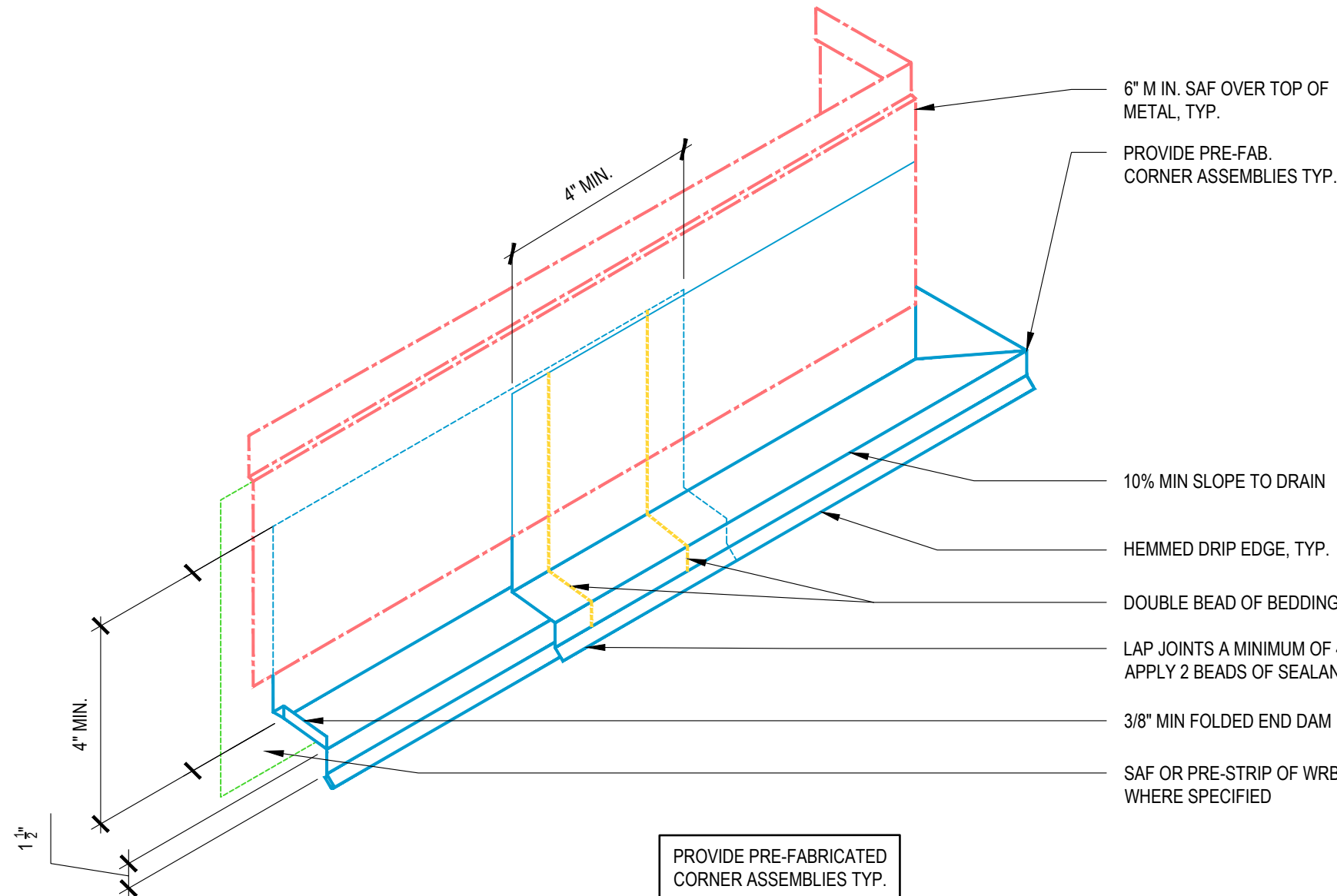
5631001

W3.1



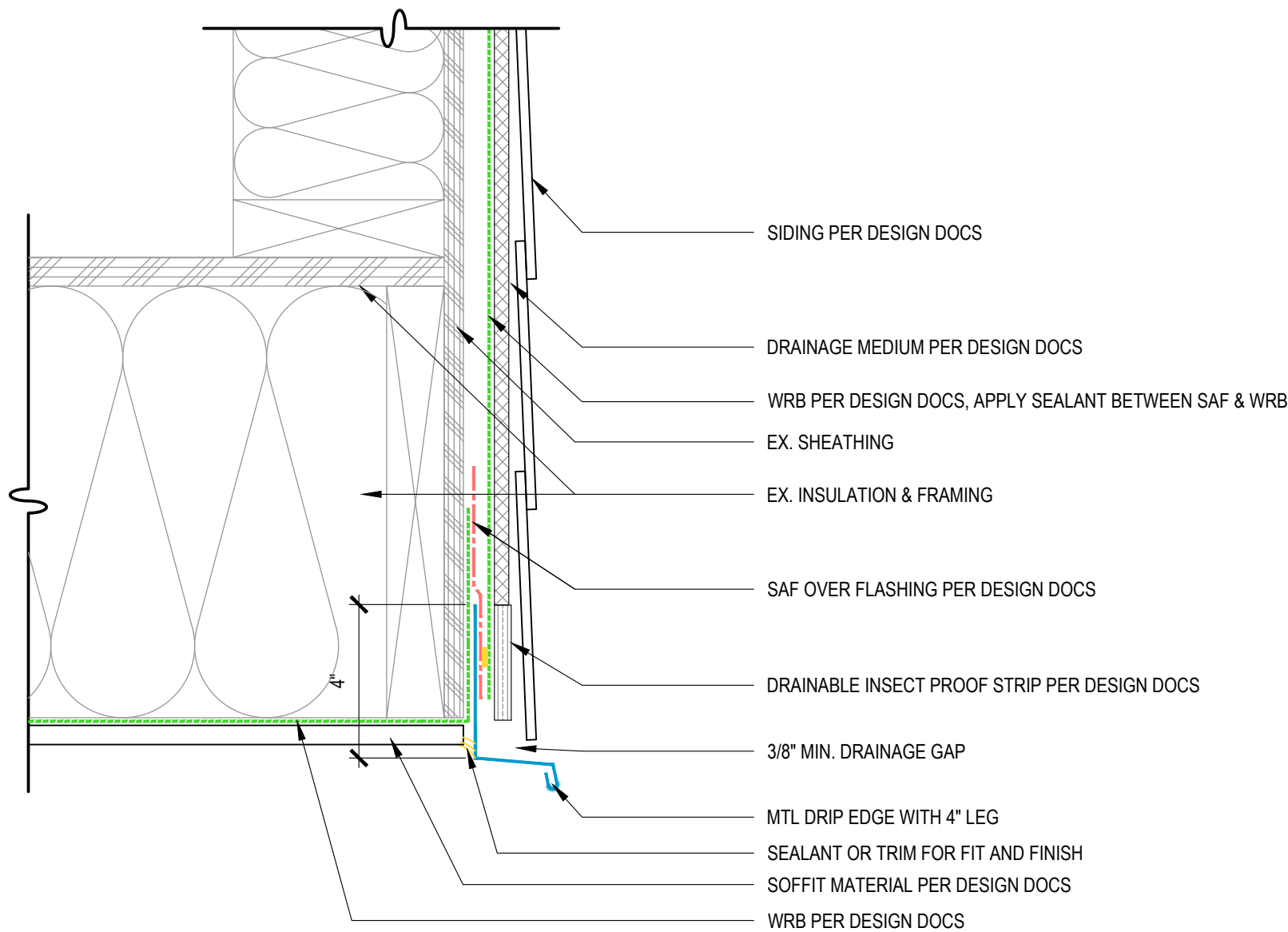
1 / W3.1 RAINSCREEN ASSEMBLY - TYPICAL FIBER CEMENT LAP SIDING

ID: 52
SCALE: NTS



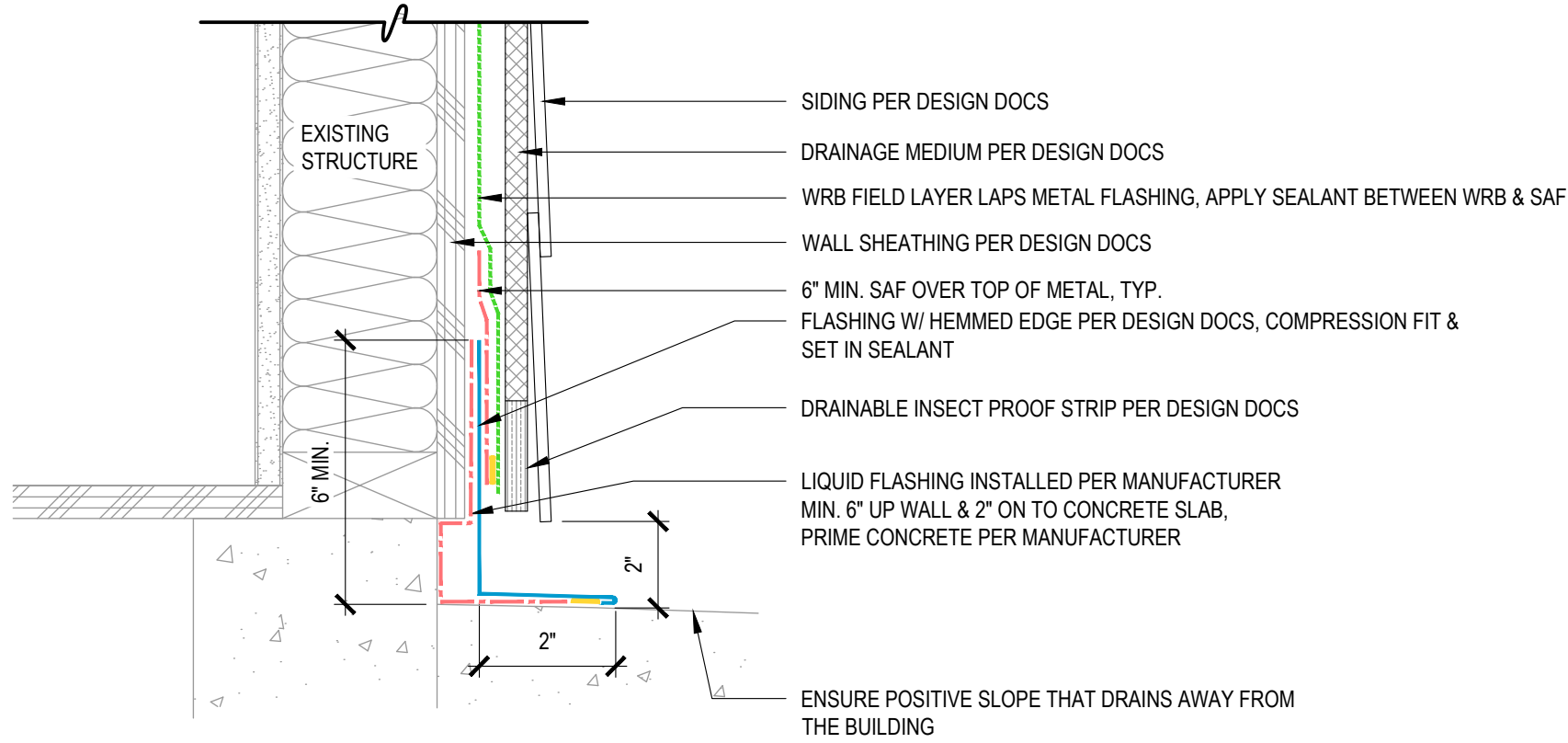
2 / W3.1 TYPICAL FLASHING LAP

ID: 60
SCALE: NTS



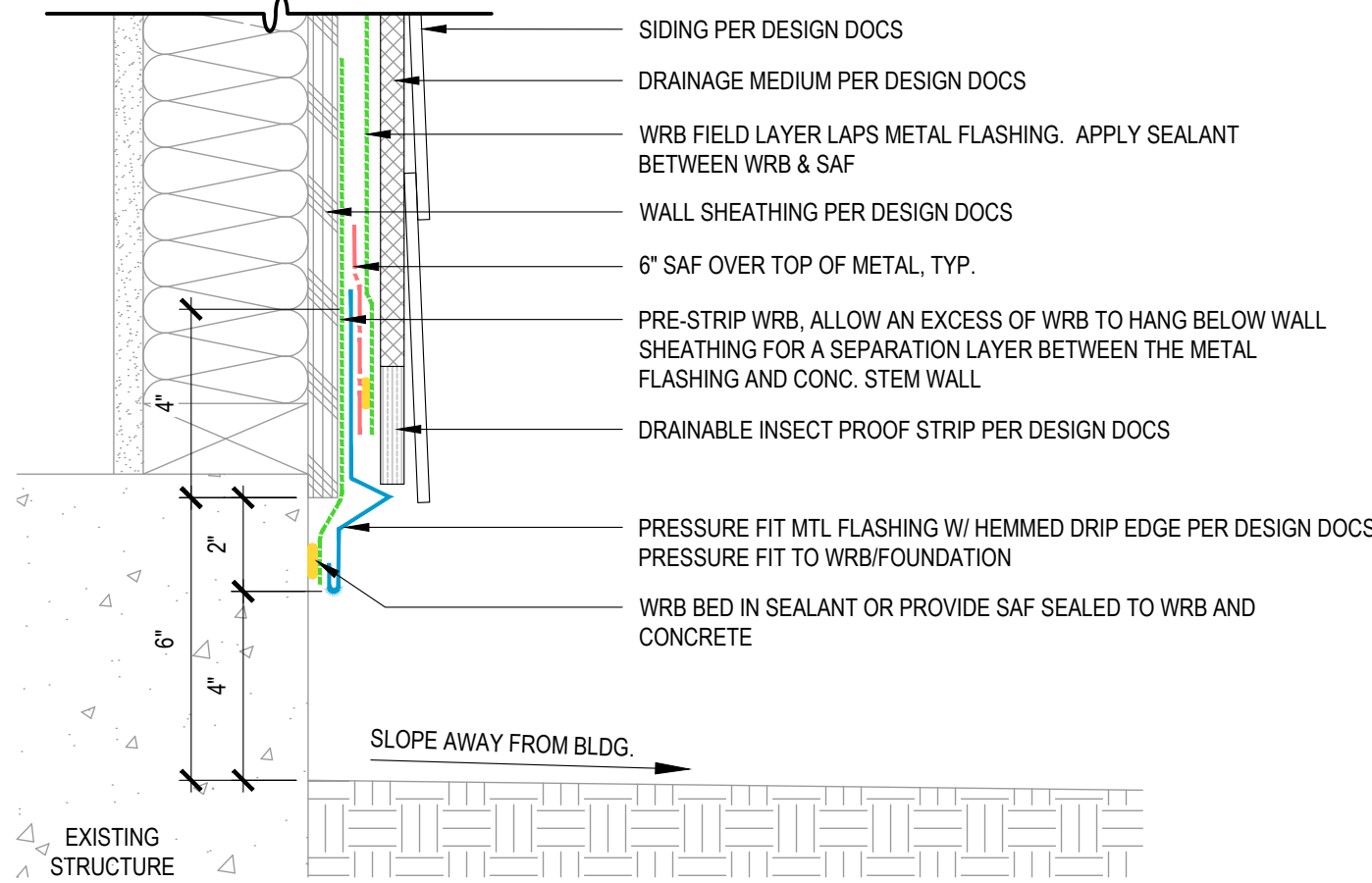
3 / W3.1 SOFFIT WITH LIVING SPACE ABOVE - TYPICAL SIDING

ID: 295
SCALE: NTS



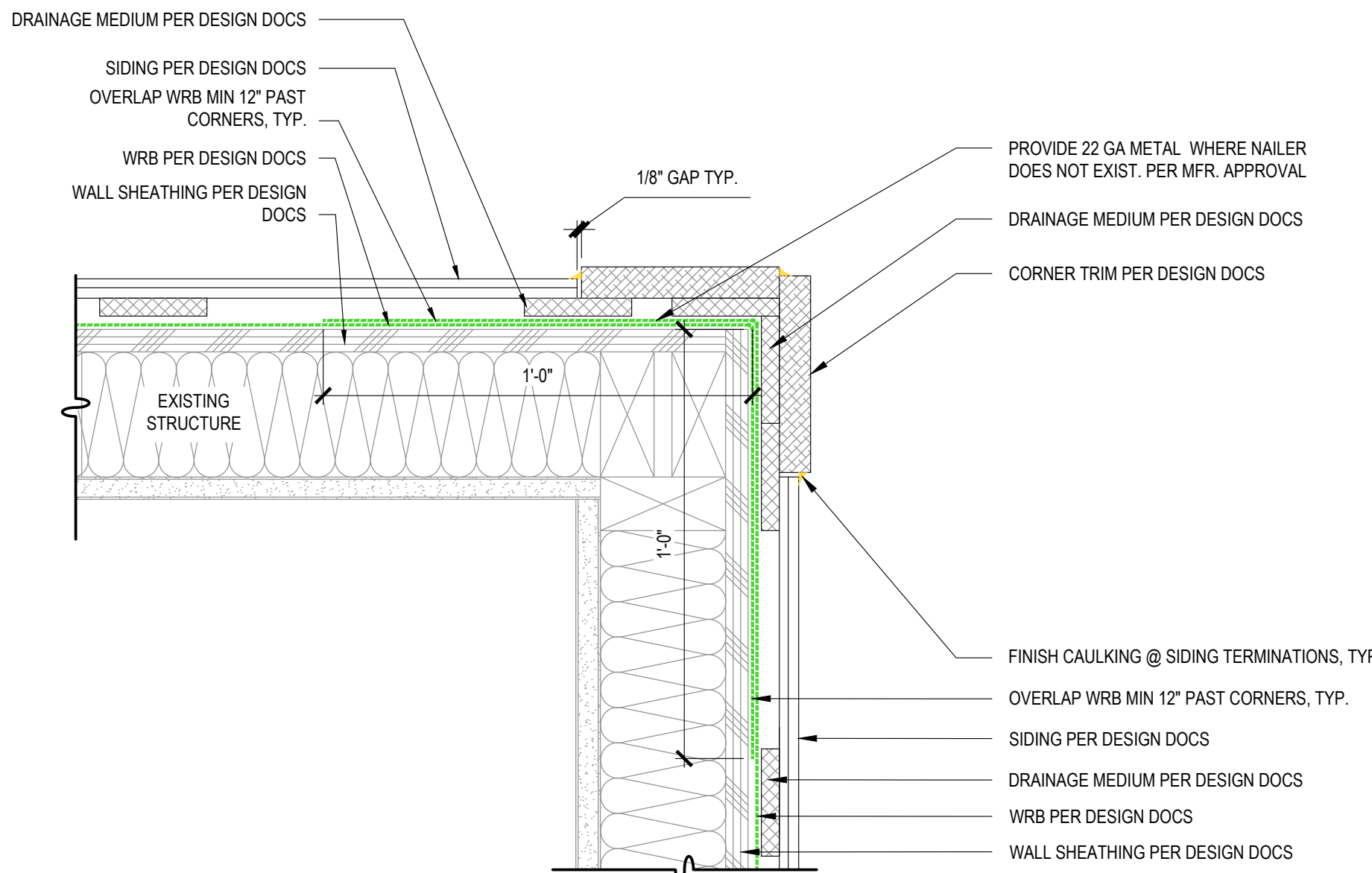
4 / W3.1 BASE OF WALL AT HARDSCAPE 1" - 2" CLEARANCE - TYPICAL SIDING

ID: 852
SCALE: NTS



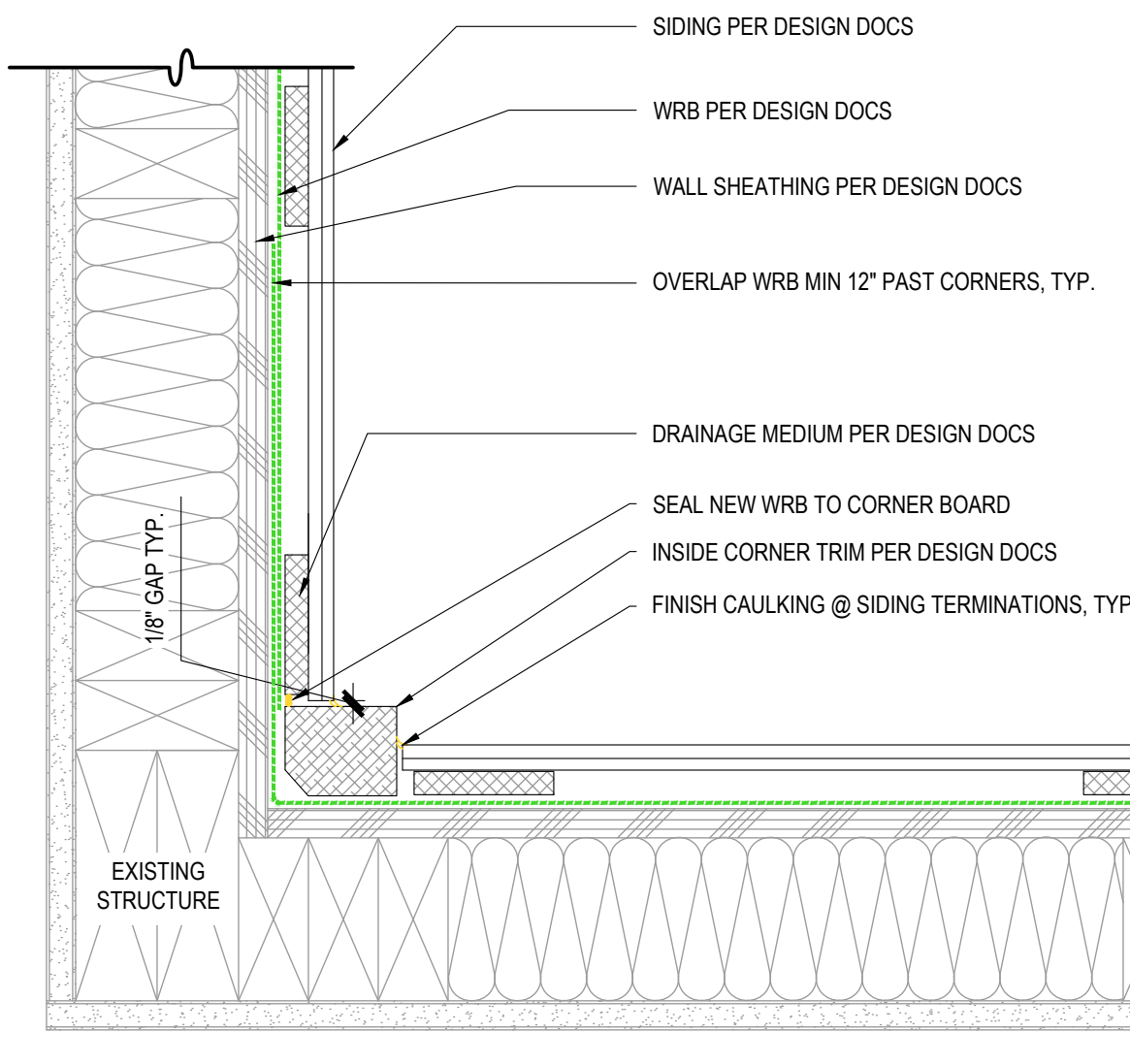
5 / W3.1 BASE OF WALL AT GRADE - TYPICAL SIDING

ID: 55
SCALE: NTS



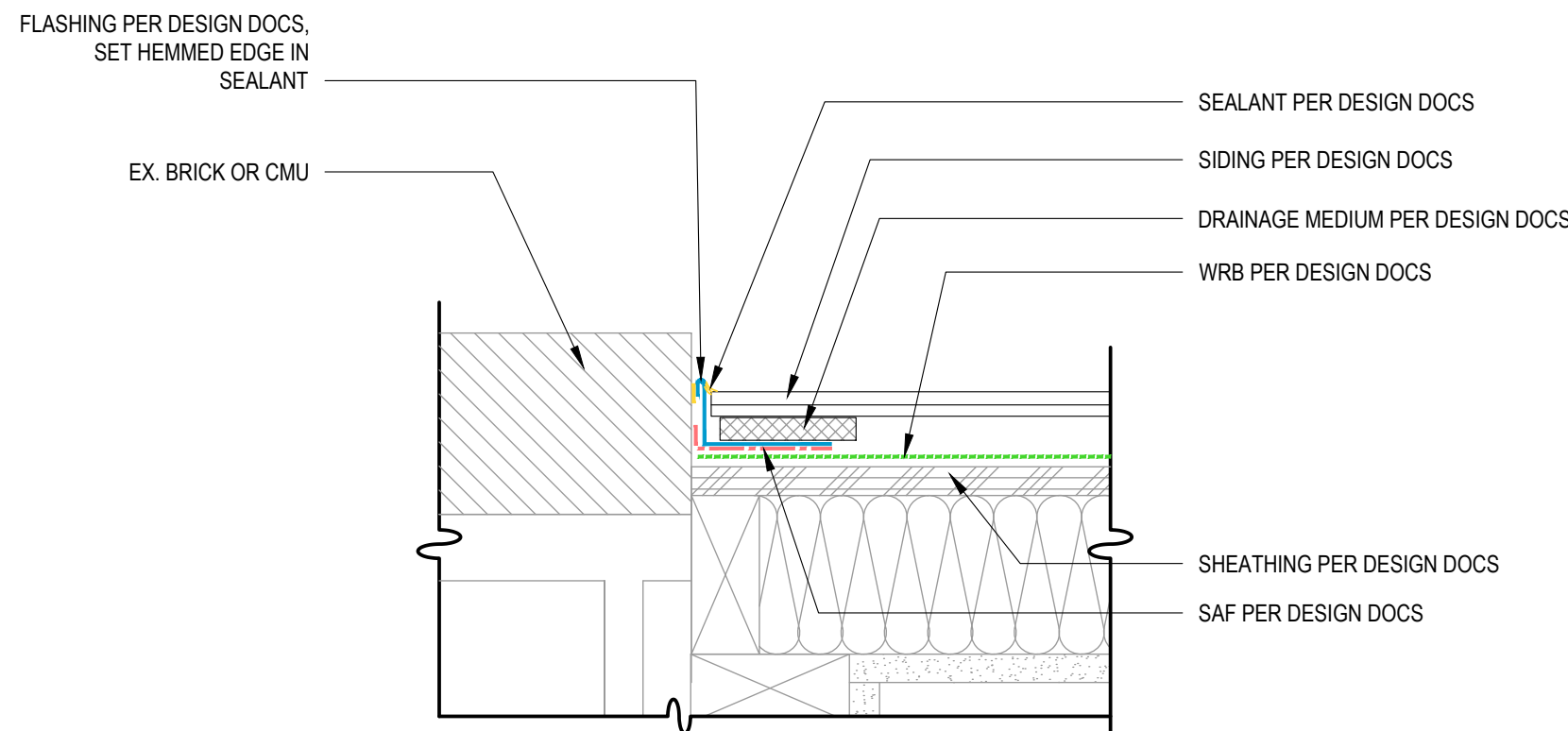
6 / W3.1 TRIM AT OUTSIDE CORNER - TYPICAL SIDING

ID: 59
SCALE: NTS



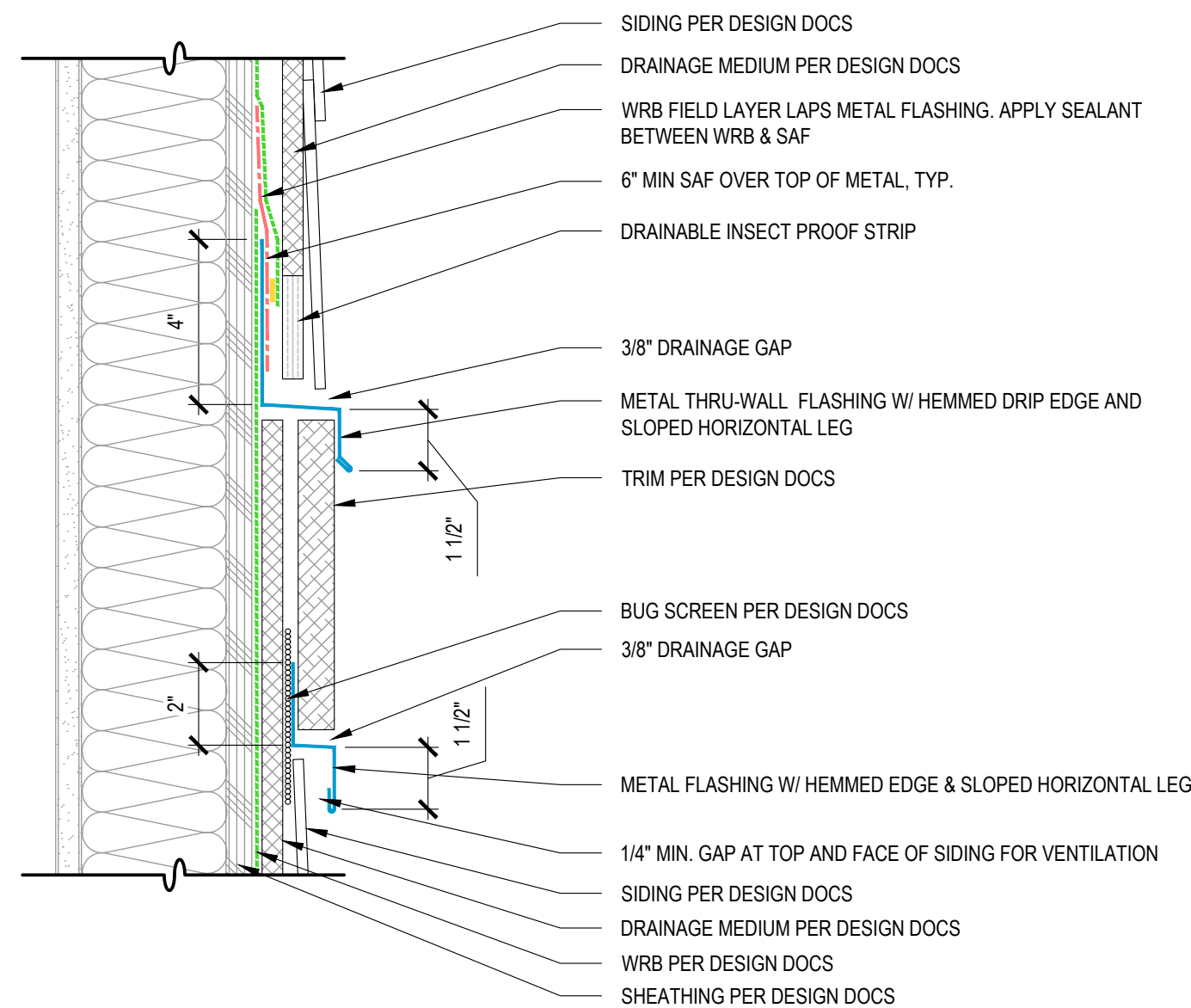
7 / W3.1 TRIM AT INSIDE CORNER - TYPICAL SIDING

ID: 58
SCALE: NTS



8 / W3.1 VERTICAL TRANSITION - TYPICAL SIDING / BRICK

ID: SCALE: NTS



9 / W3.1 BELLY BAND - TYPICAL SIDING

ID: 61
SCALE: NTS

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**PACIFIC VIEW
CONDOMINIUMS**

BUILDING ENVELOPE

Sheet Title:

**WEATHERIZATION
DETAILS - WALLS**

Scale: As Noted

BID SET

Drawn By: MEB/UMM

Checked By: REPIJKJ

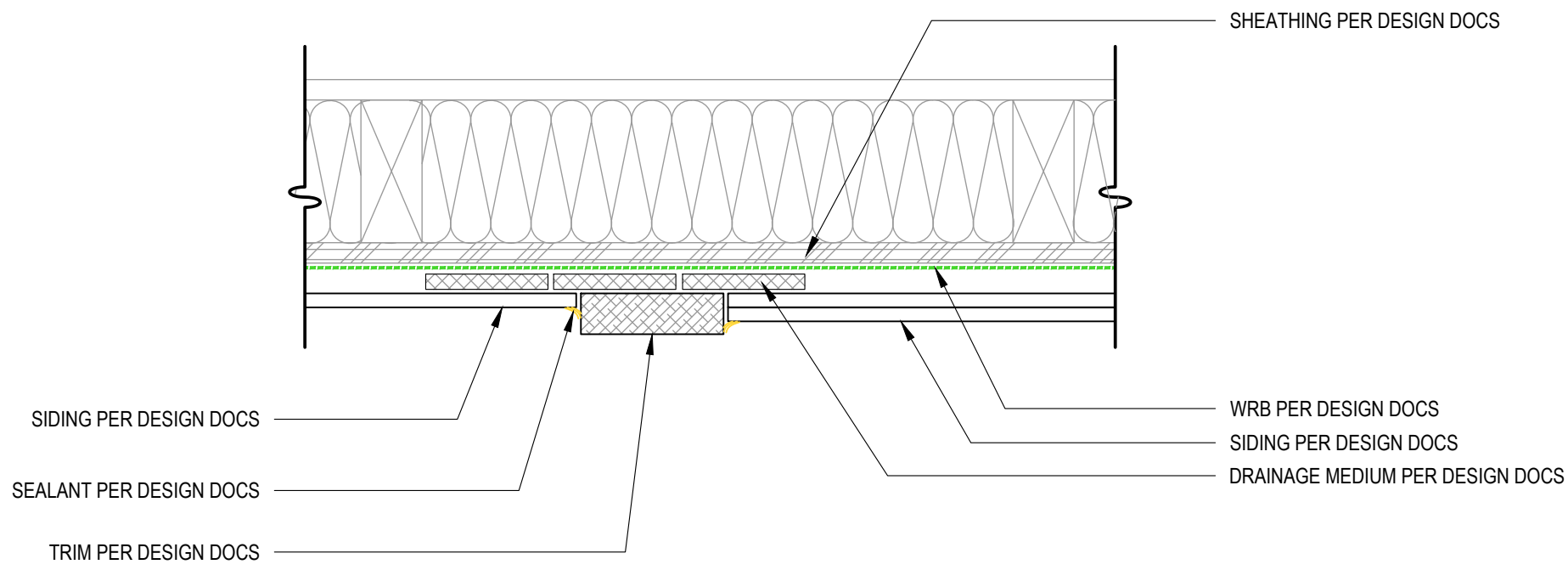
Issue Date:

11/22/2023

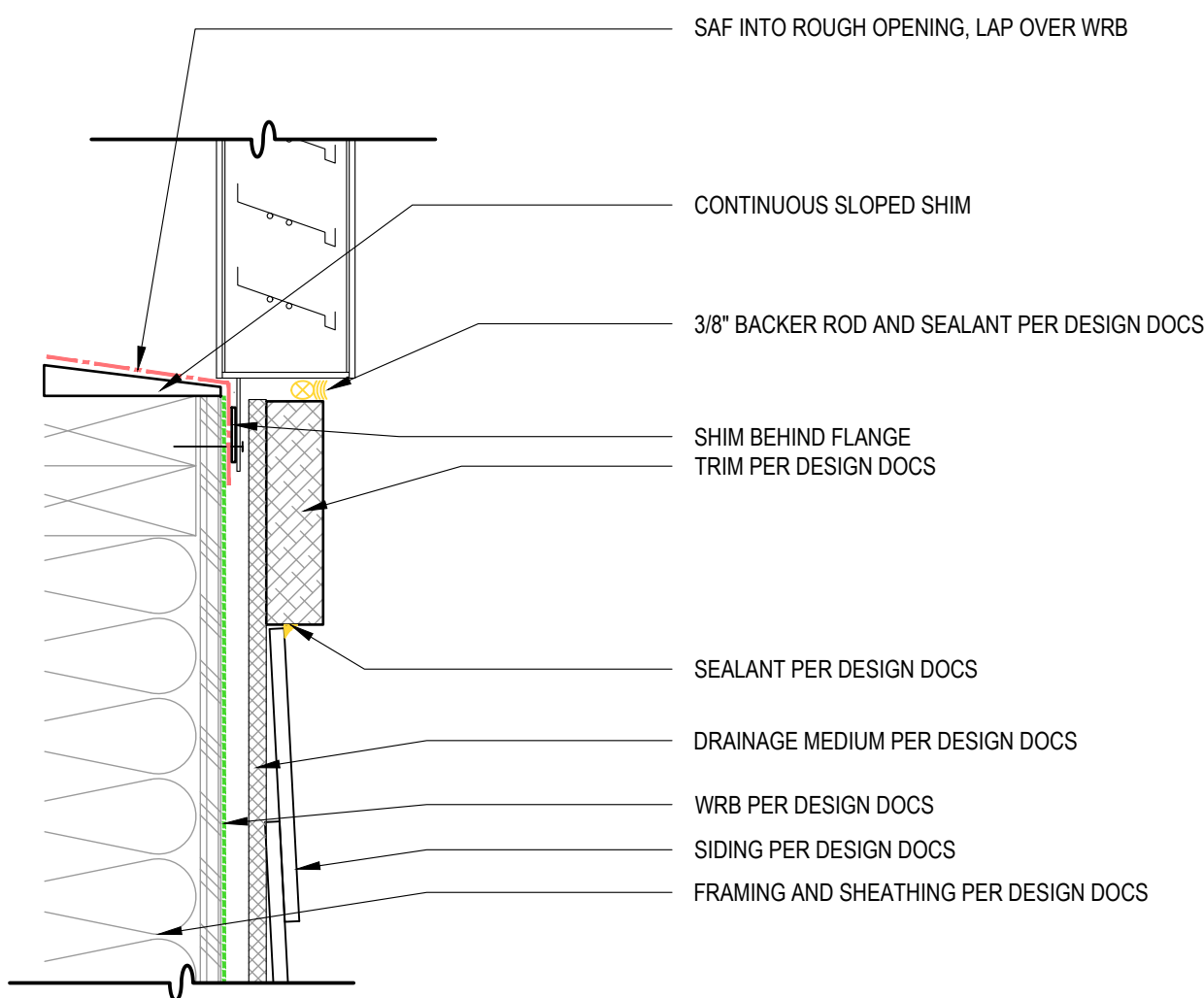
Job #:

5631001

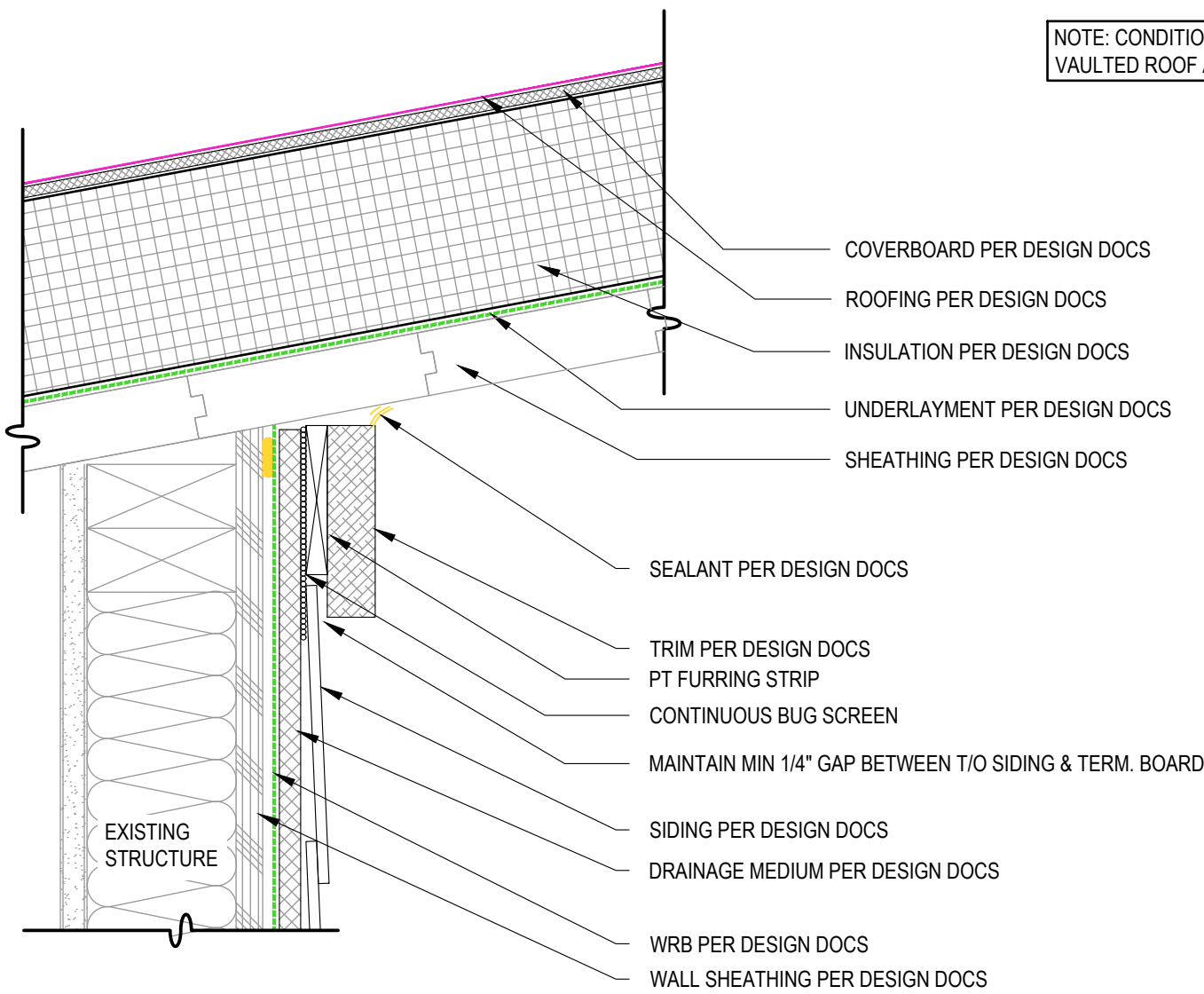
W3.2



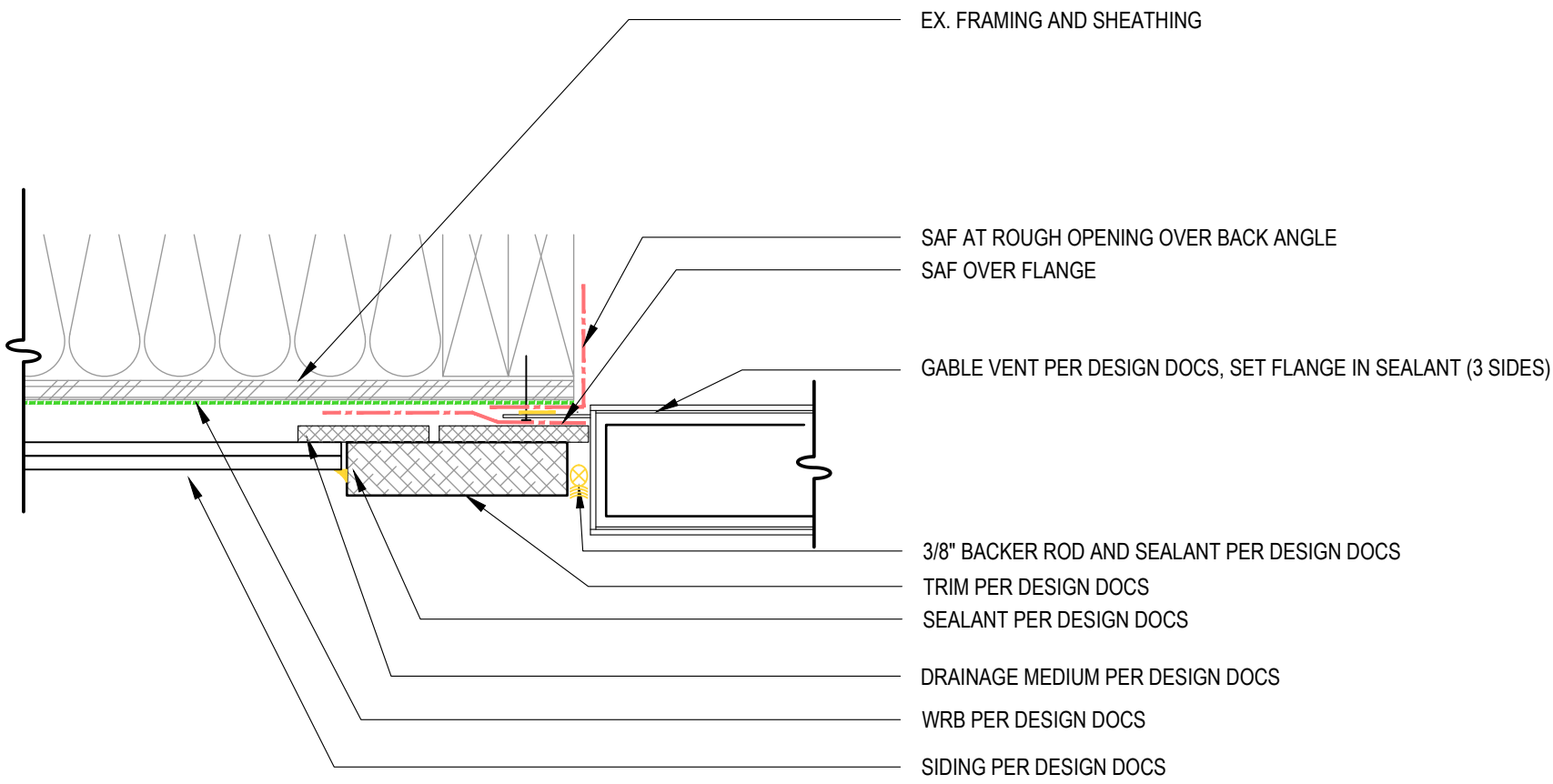
3 / W3.2 VERTICAL TRANSITION - TYPICAL SIDING



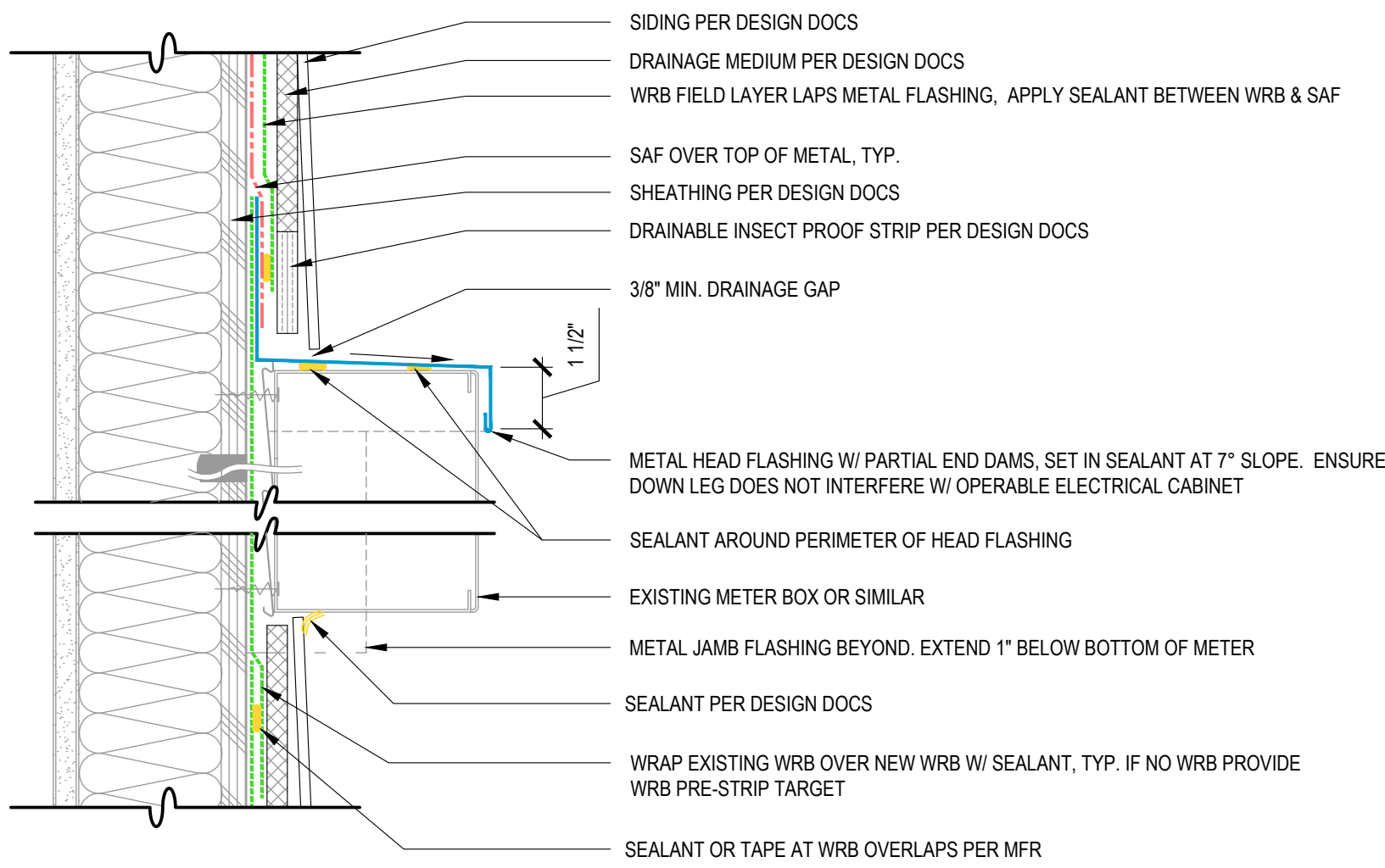
6 / W3.2 GABLE VENT SILL - TYPICAL SIDING



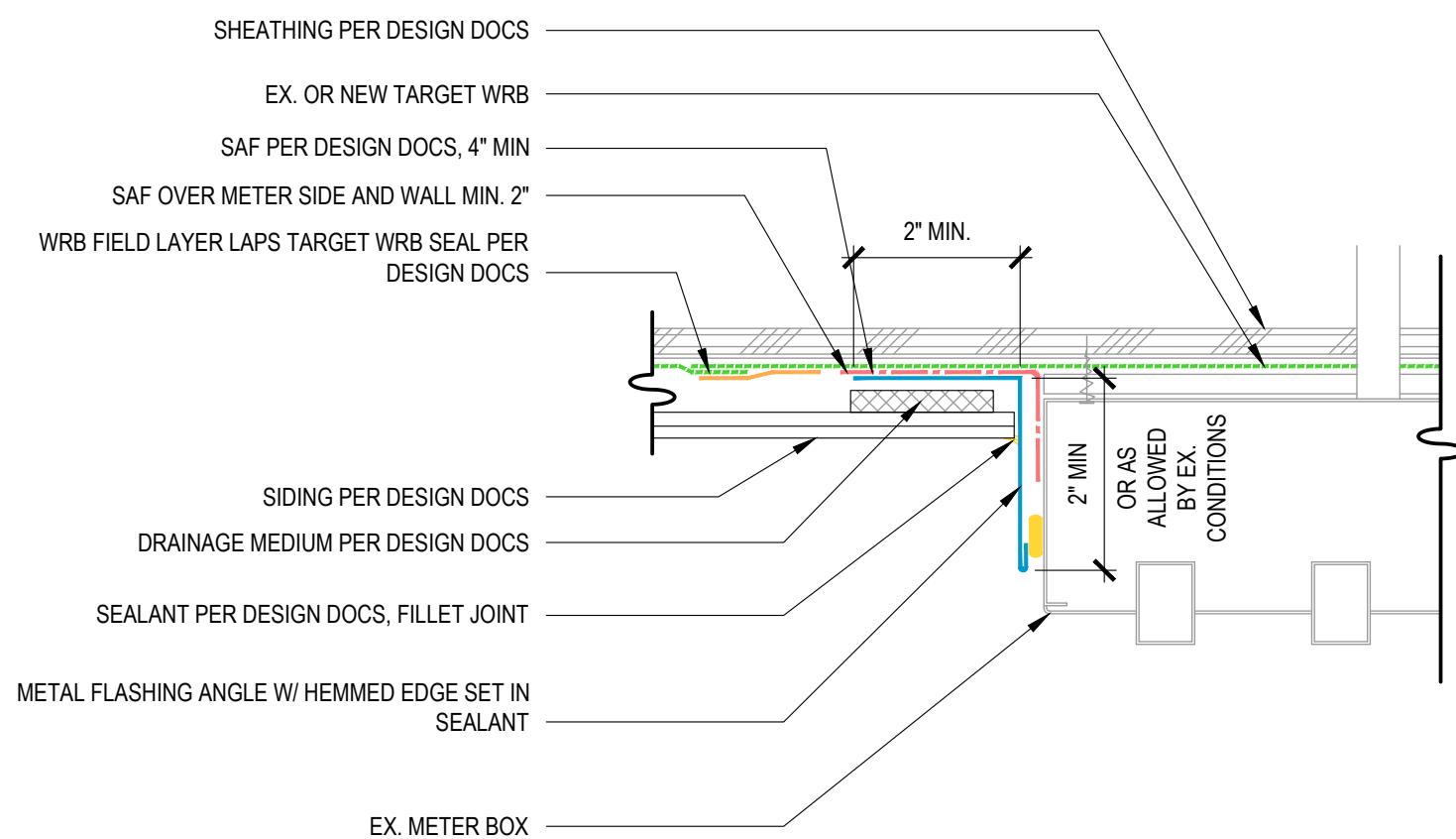
2 / W3.2 TOP OF WALL AT VAULTED ROOF - SINGLE PLY / TYPICAL SIDING



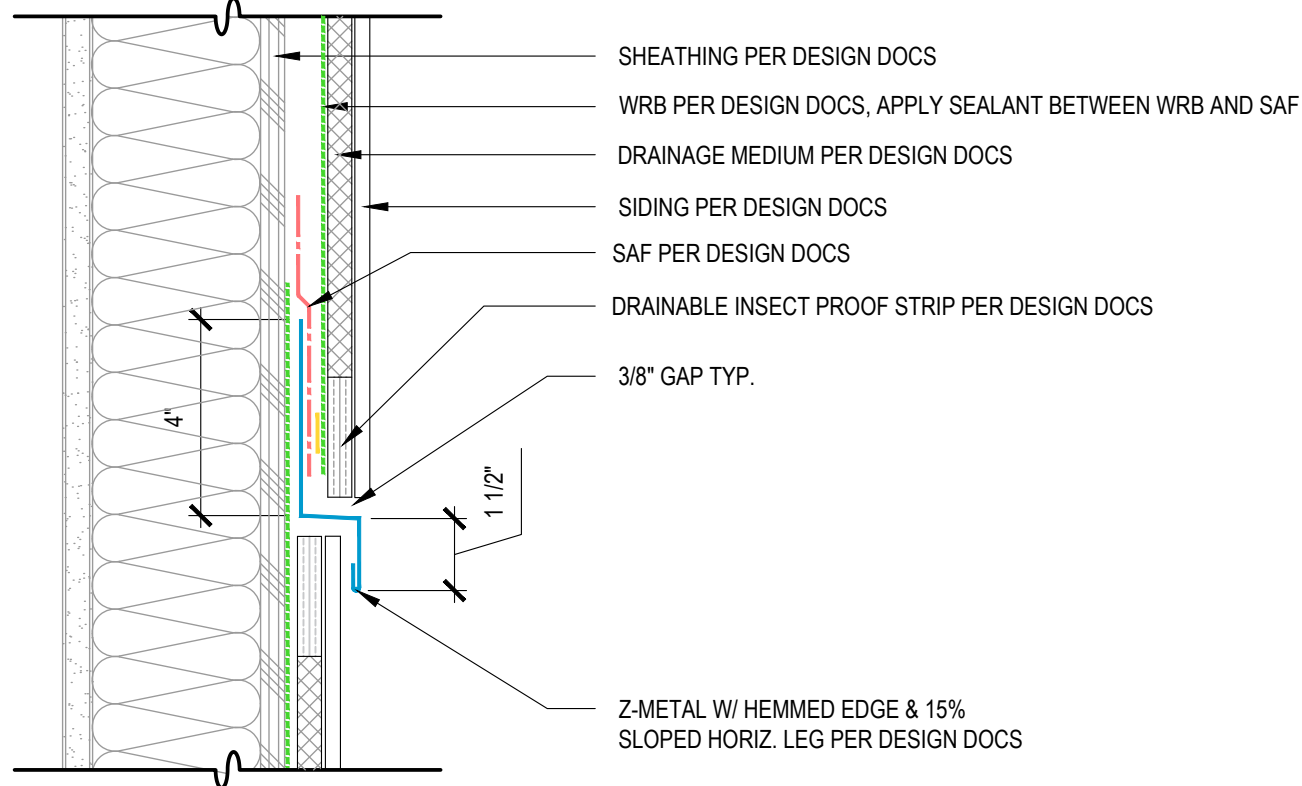
5 / W3.2 GABLE VENT JAMB - TYPICAL SIDING



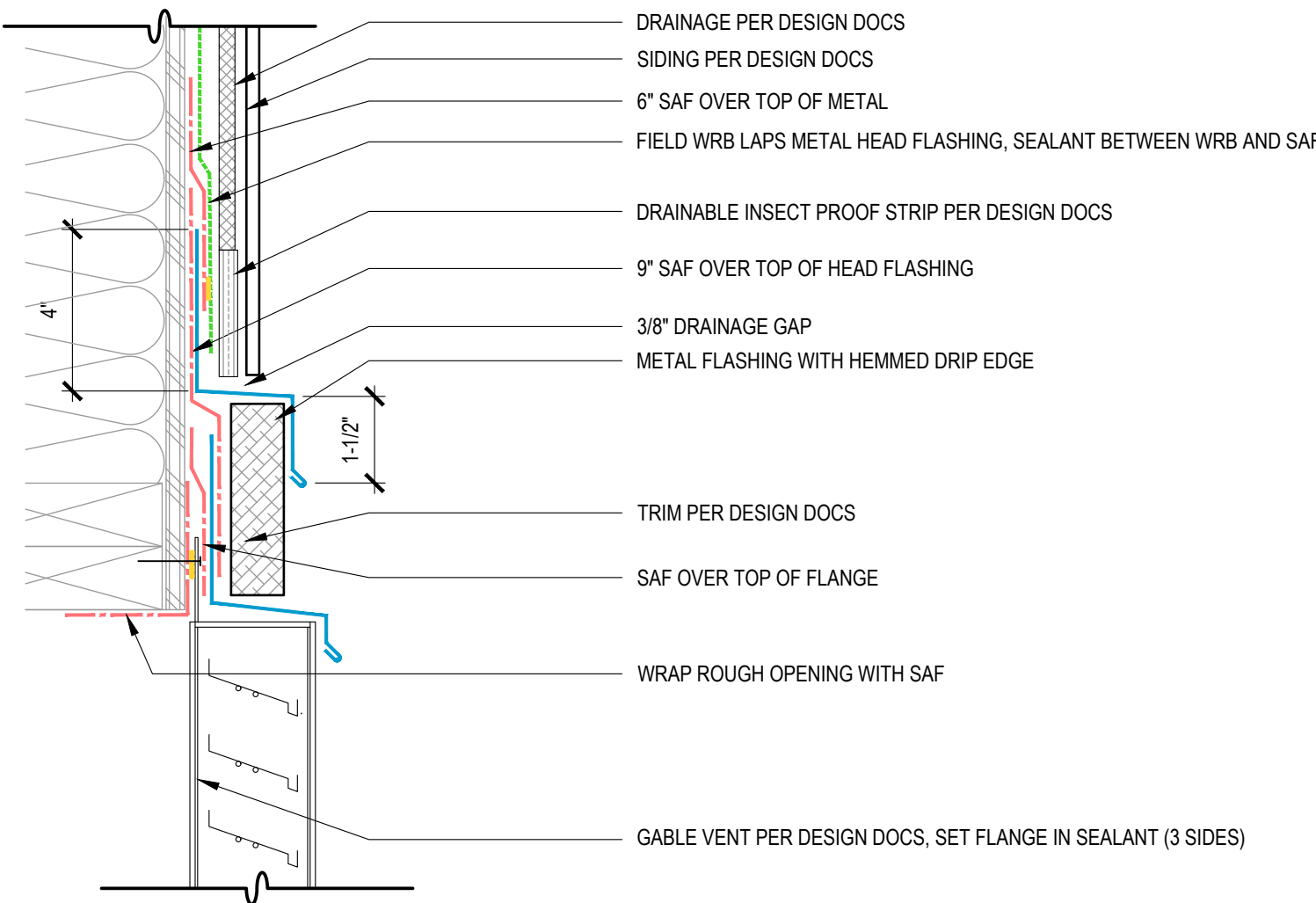
8 / W3.2 ELECTRICAL HOOD SECTION A-A (HEAD/SILL) - TYPICAL SIDING



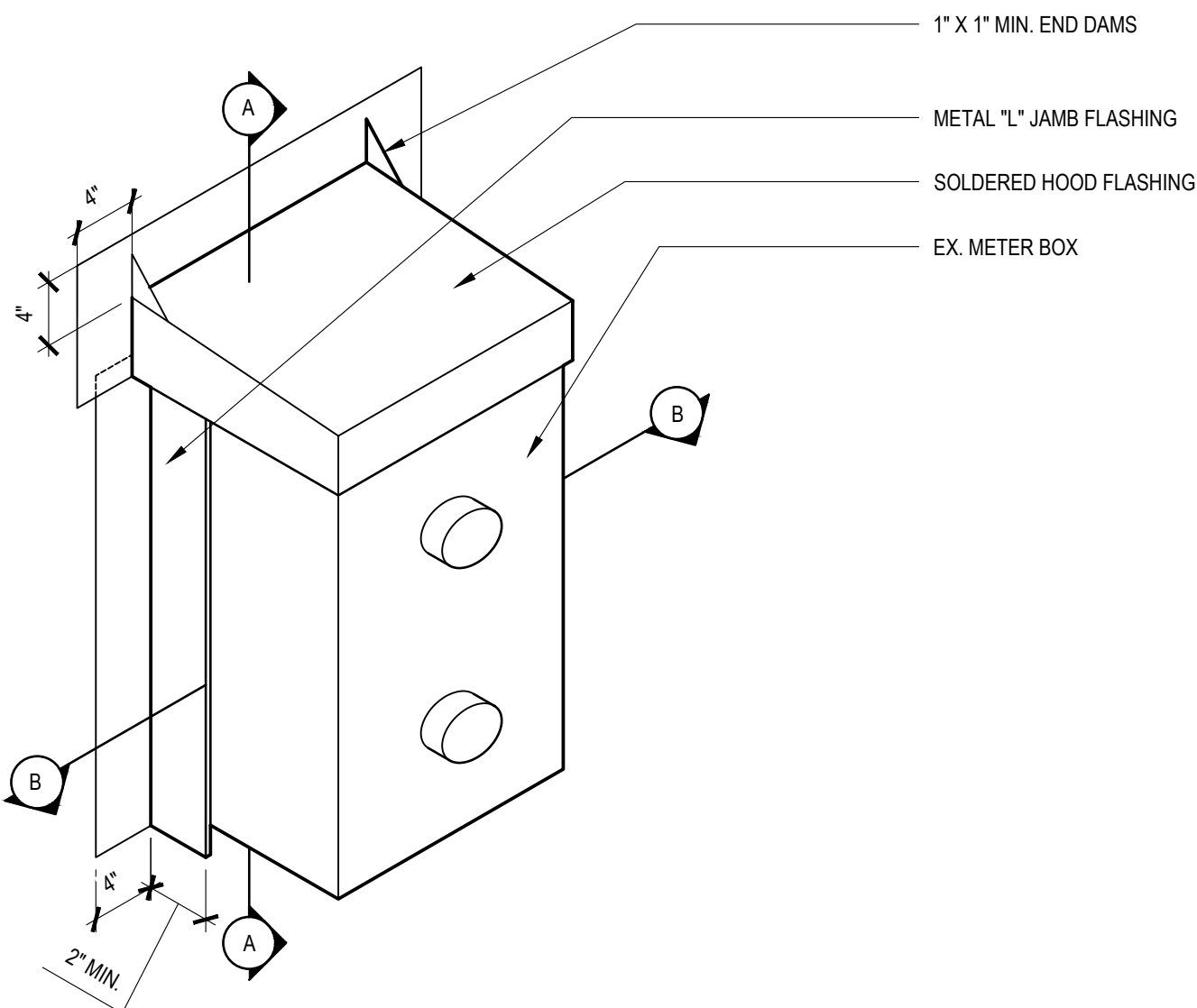
9 / W3.2 ELECTRICAL HOOD SECTION B-B (JAMB) - TYPICAL SIDING



1 / W3.2 HORIZONTAL JOINT - PANEL SIDING



4 / W3.2 GABLE VENT HEAD - TYPICAL SIDING



7 / W3.2 ELECTRICAL HOOD ISO

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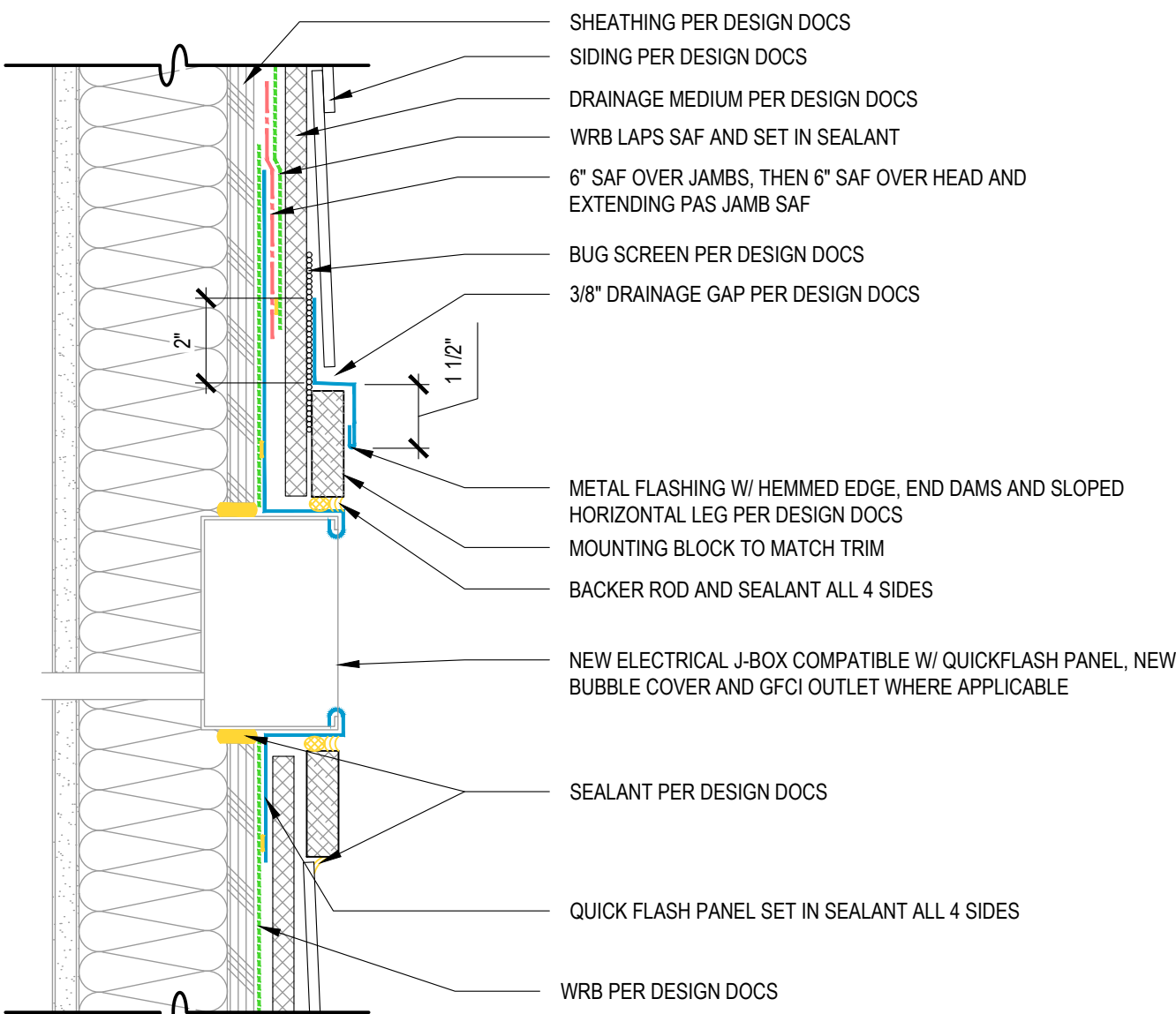
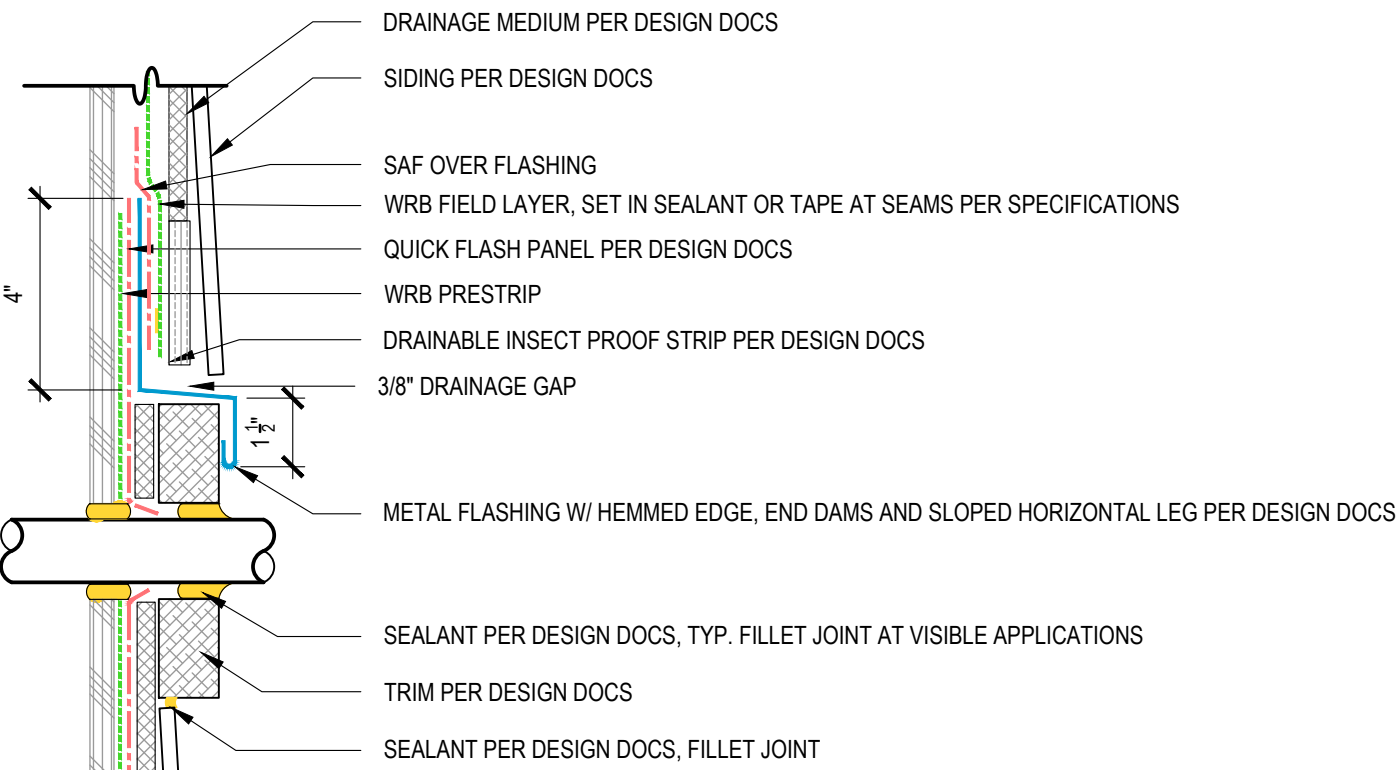
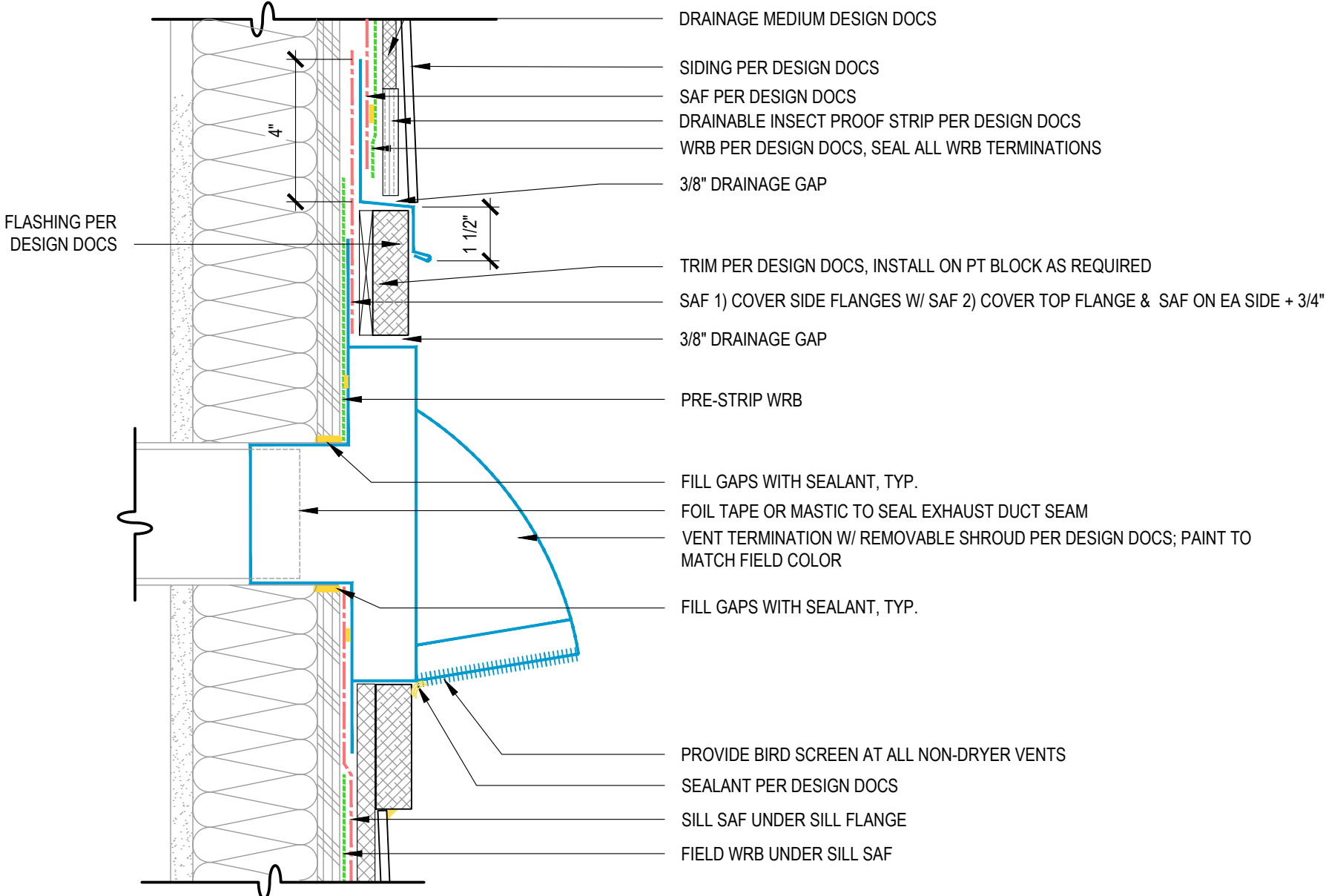
WEATHERIZATION
DETAILS - WALLS

Scale: As Noted

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W3.3



1 / W3.3 ELECTRICAL/LIGHT BLOCK PENETRATION

ID: 80
SCALE: NTS

2 / W3.3 PIPE PENETRATION - TYPICAL SIDING

ID: 138
SCALE: NTS

3 / W3.3 HVAC VENT HOOD PENETRATION - TYPICAL SIDING

ID: 1107
SCALE: NTS

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Revisions:		
Δ	Date	Description

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**PACIFIC VIEW
CONDOMINIUMS**
BUILDING ENVELOPE

Sheet Title:
**WEATHERIZATION
DETAILS - WALLS**

Scale: As Noted

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Drawn By: MEB/UMM

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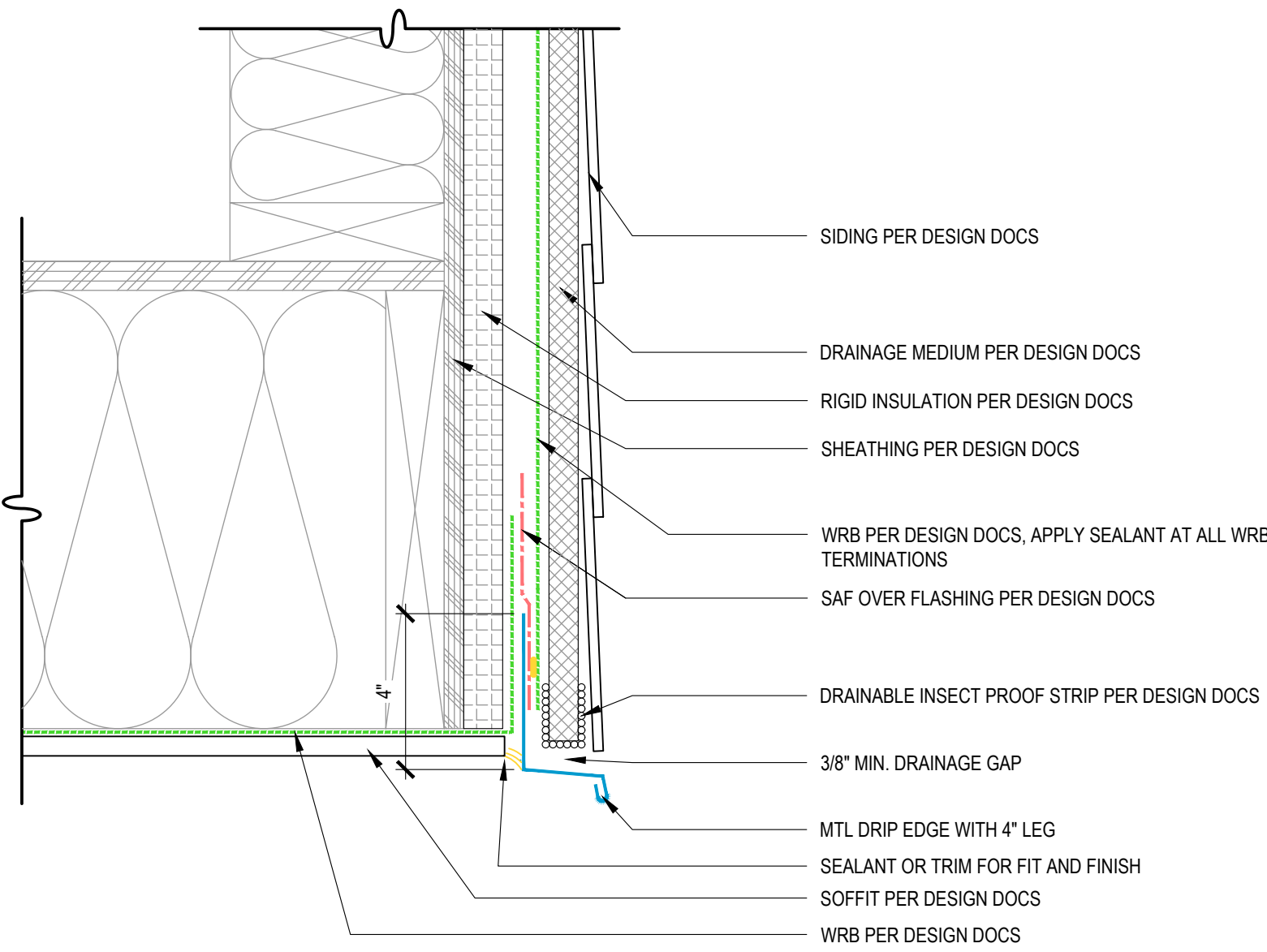
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Sheet Number:

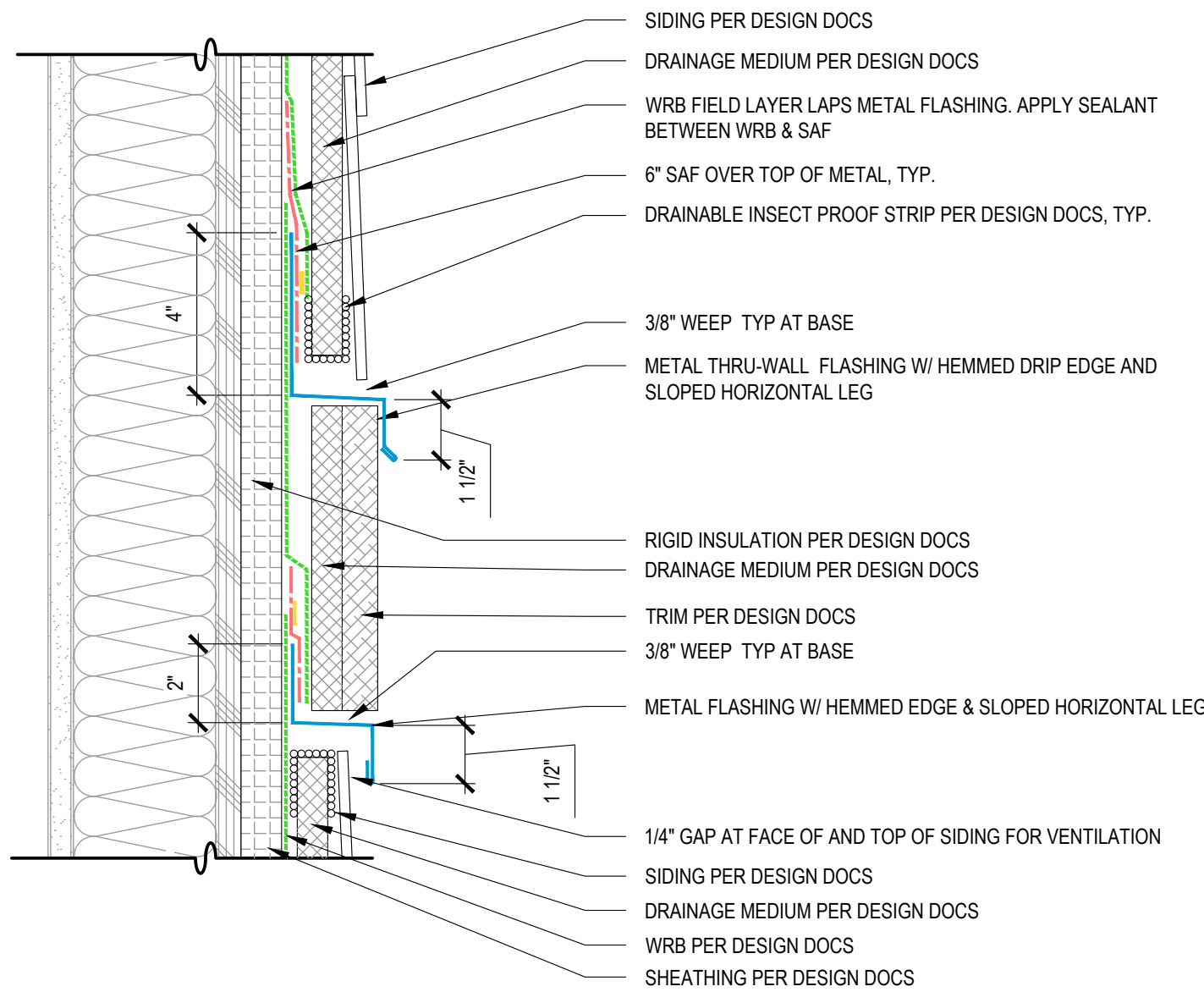
Job #:

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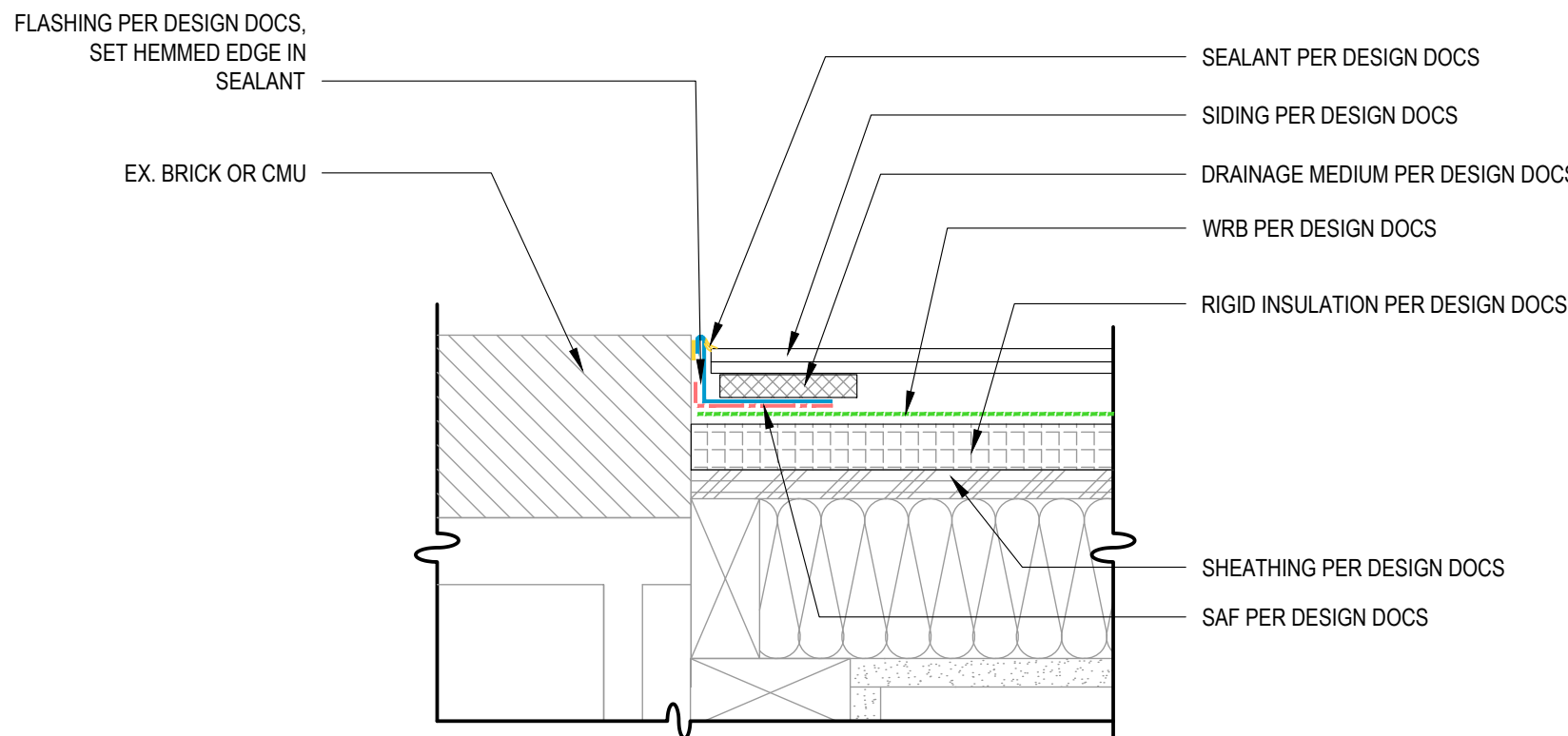
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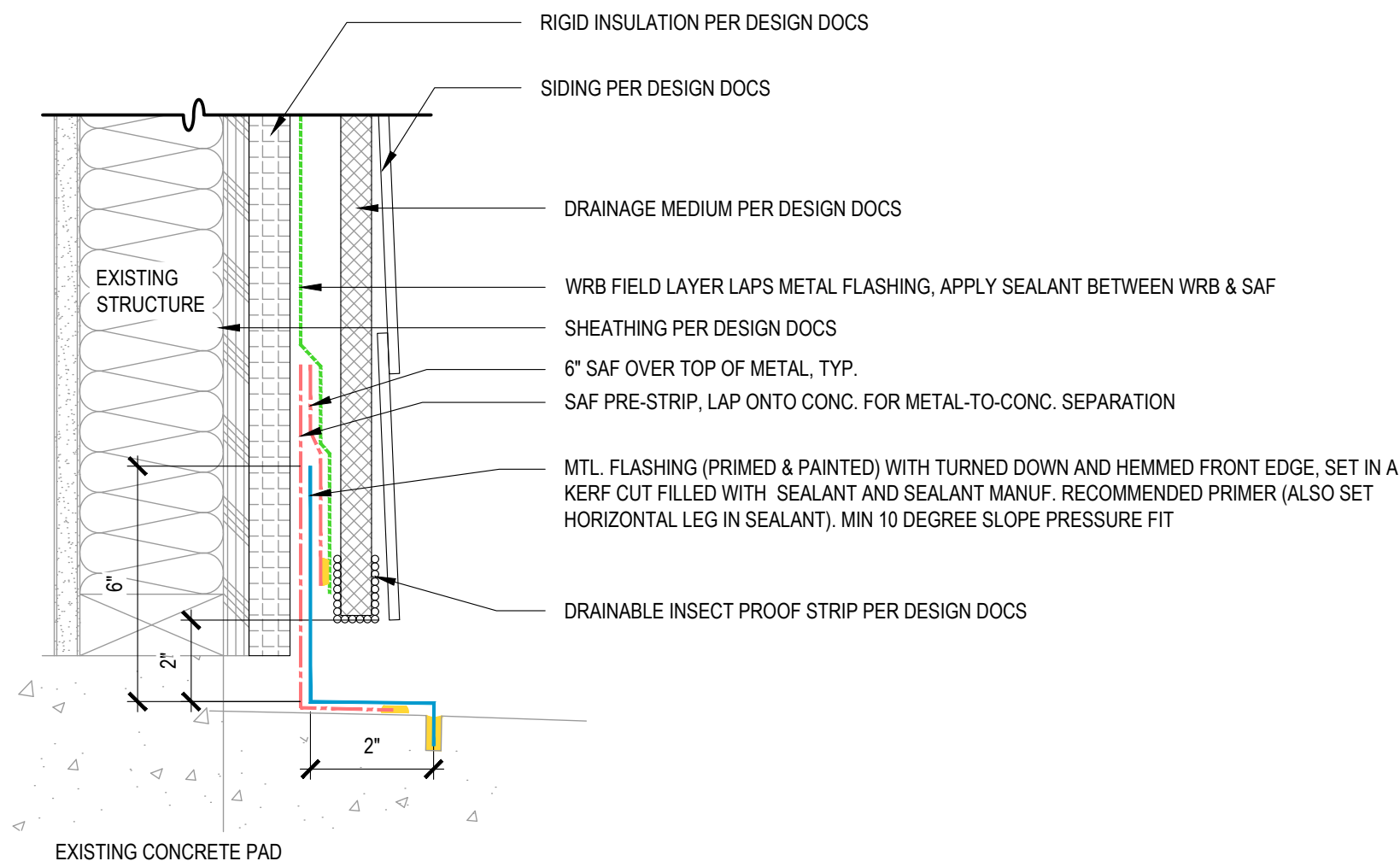
2 / W3.4 SOFFIT WITH LIVING SPACE ABOVE - TYPICAL SIDING / EXTERIOR INSULATION



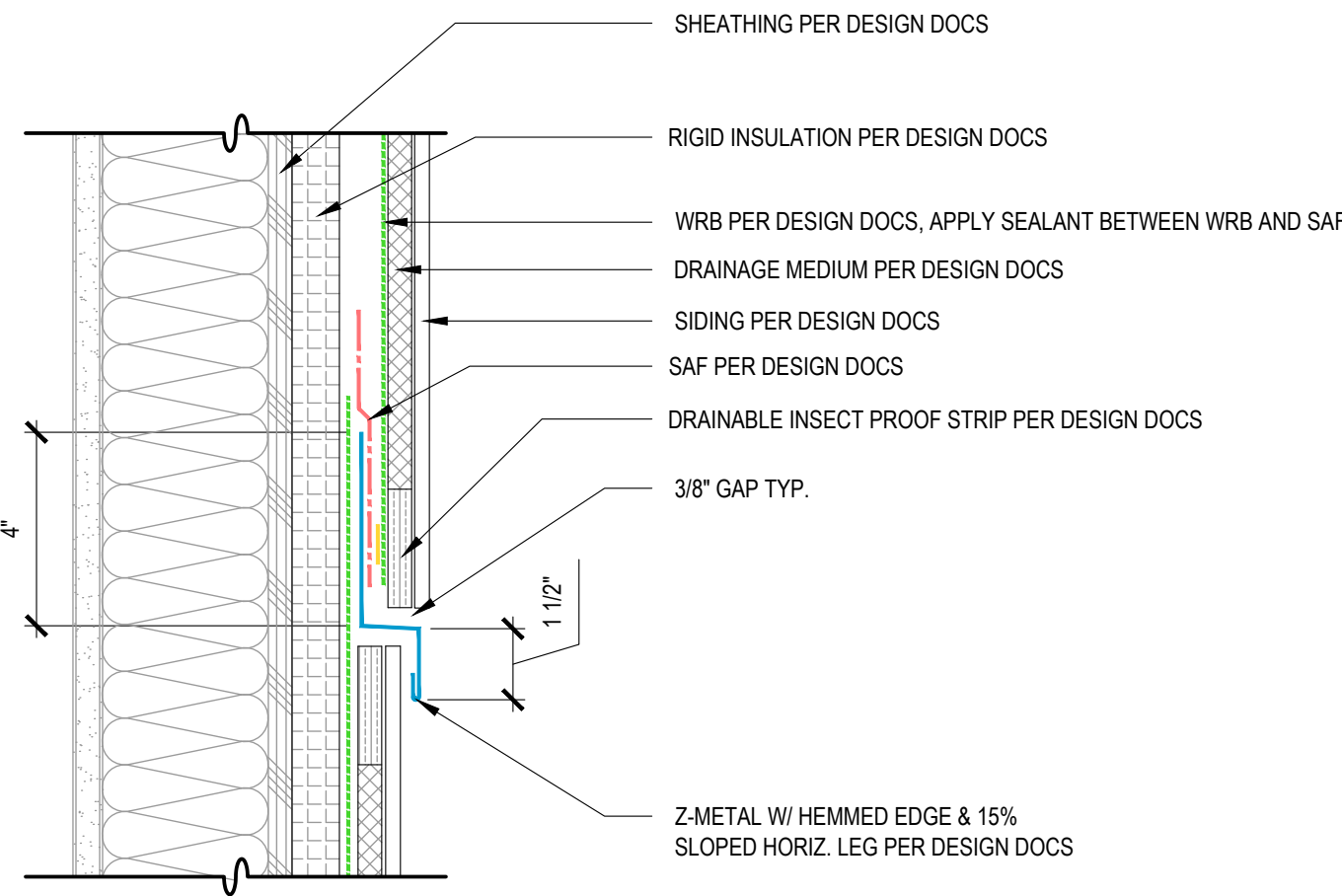
5 / W3.4 BELLYL BAND - TYPICAL SIDING/EXTERIOR INSULATION



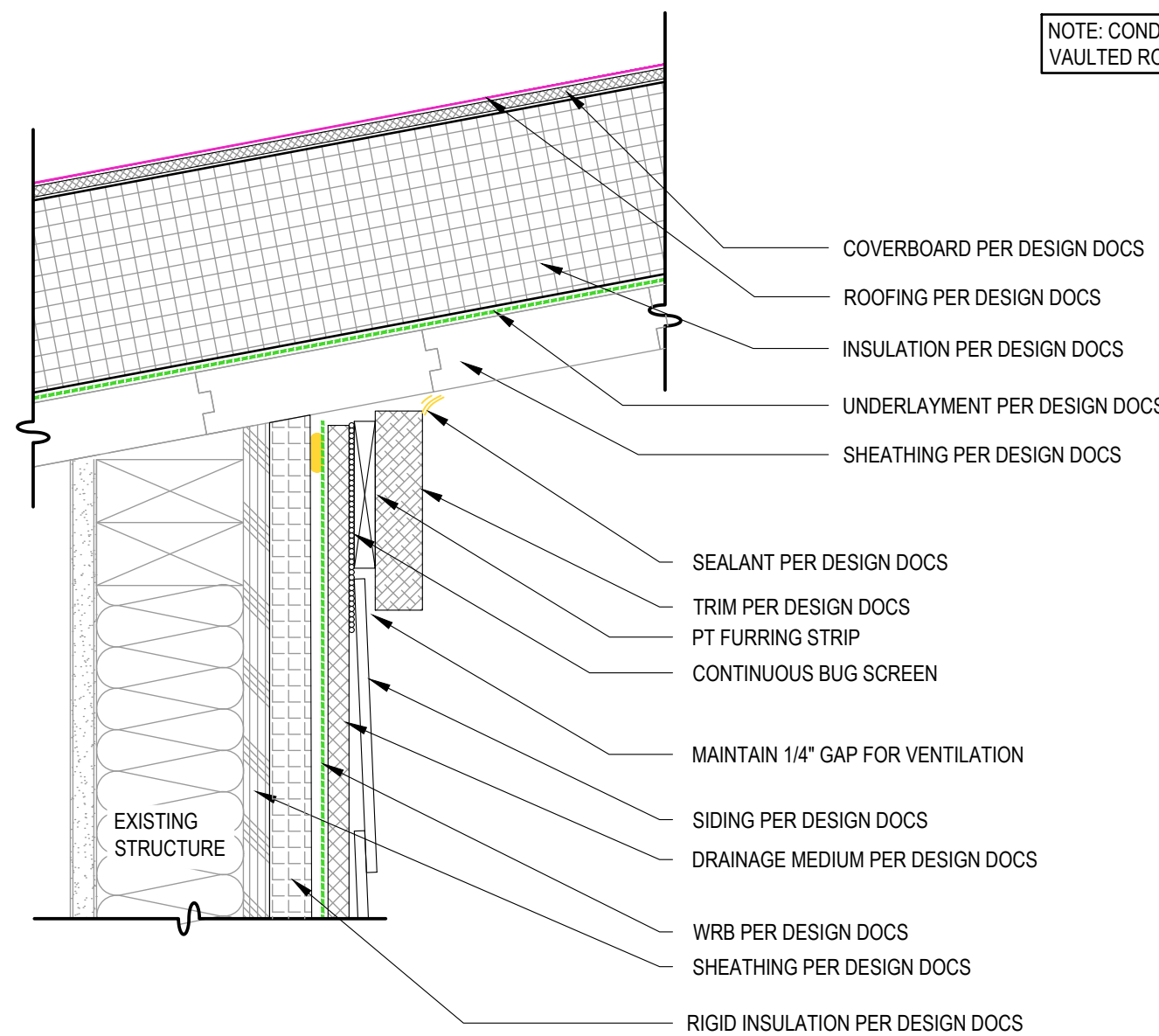
8 / W3.4 VERTICAL TRANSITION - BRICK / TYPICAL SIDING / EXTERIOR INSULATION



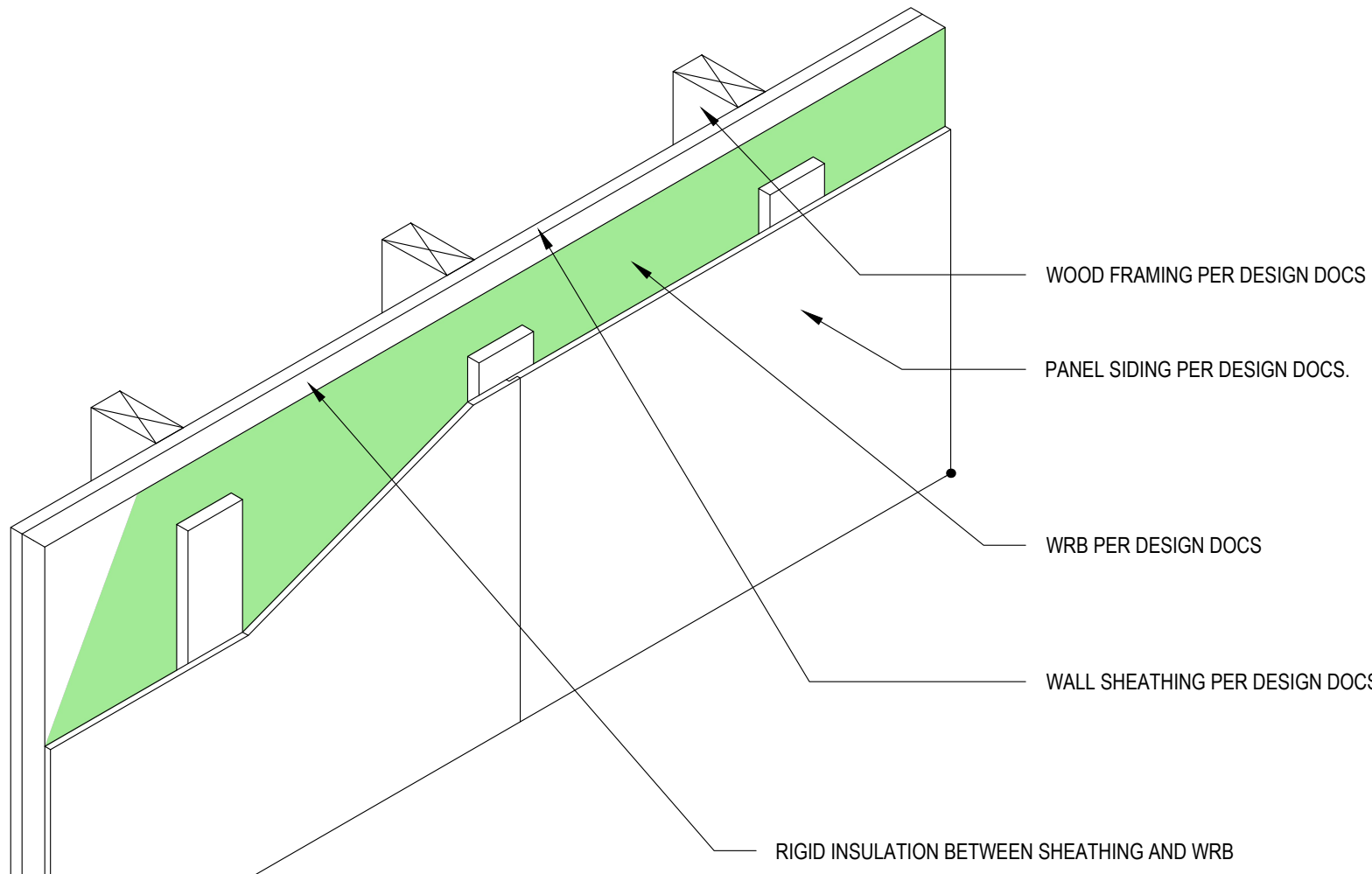
3 / W3.4 BASE OF WALL AT HARDSCAPE - TYPICAL SIDING/EXTERIOR INSULATION



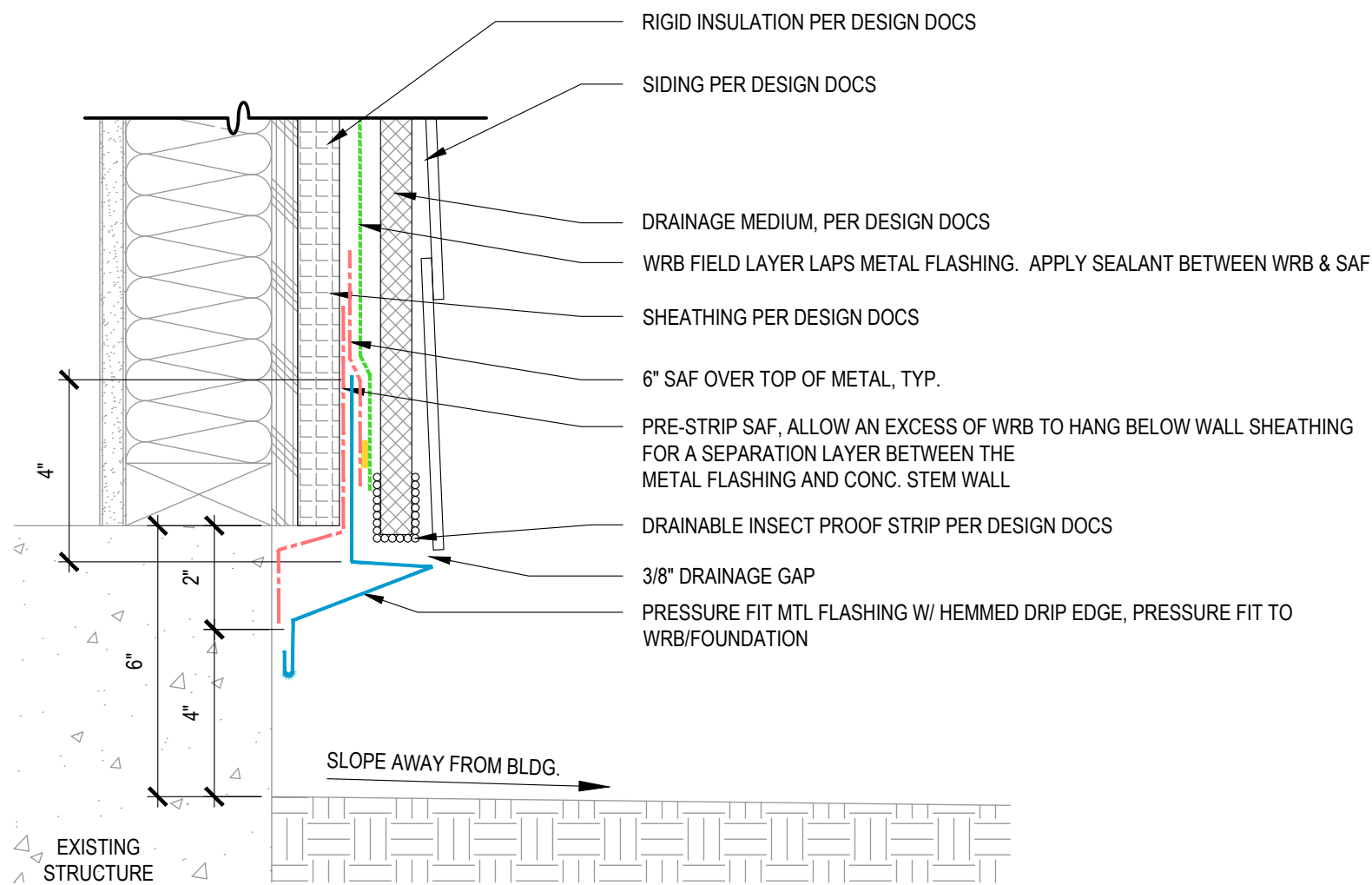
6 / W3.4 HORIZONTAL JOINT - PANEL SIDING



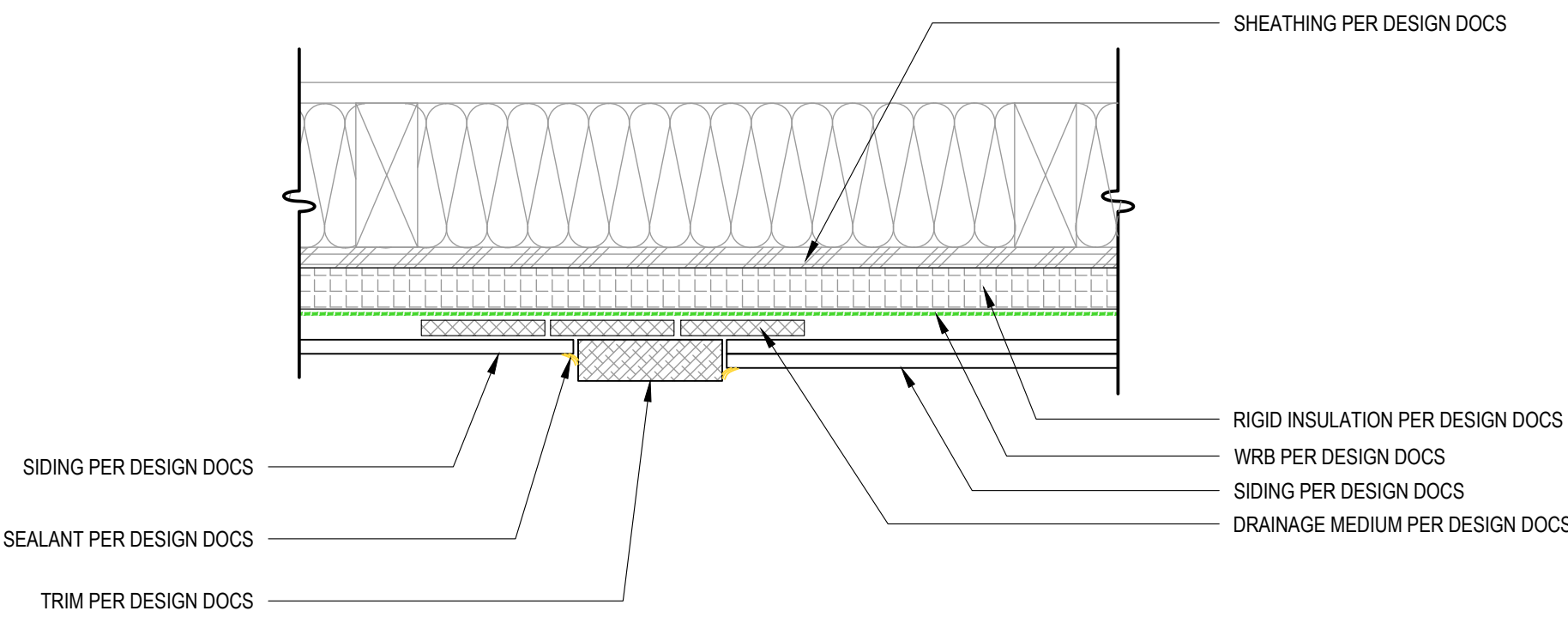
9 / W3.4 TOP OF WALL AT VAULTED ROOF - SINGLE PLY / TYPICAL SIDING / EXTERIOR INSULATION



1 / W3.4 RAINSCREEN ASSEMBLY - TYPICAL FIBER CEMENT PANEL SIDING/EXTERIOR INSULATION



4 / W3.4 BASE OF WALL AT GRADE - TYPICAL SIDING/EXTERIOR INSULATION



7 / W3.4 VERTICAL TRANSITION - TYPICAL SIDING

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**PACIFIC VIEW
CONDOMINIUMS**

BUILDING ENVELOPE

Sheet Title:
**WEATHERIZATION
DETAILS - WALLS**

Scale: As Noted

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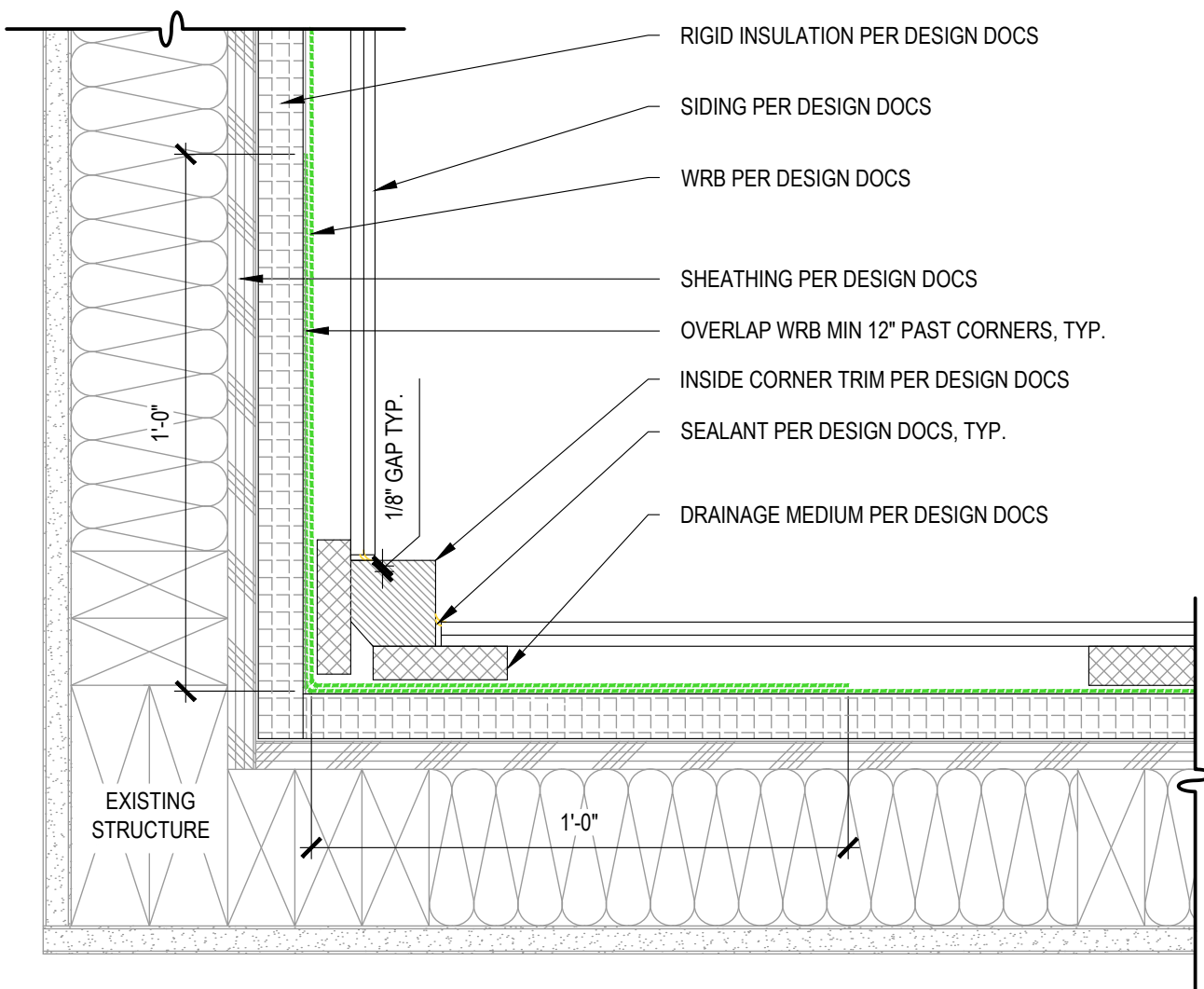
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Checked By: REPI/KJ

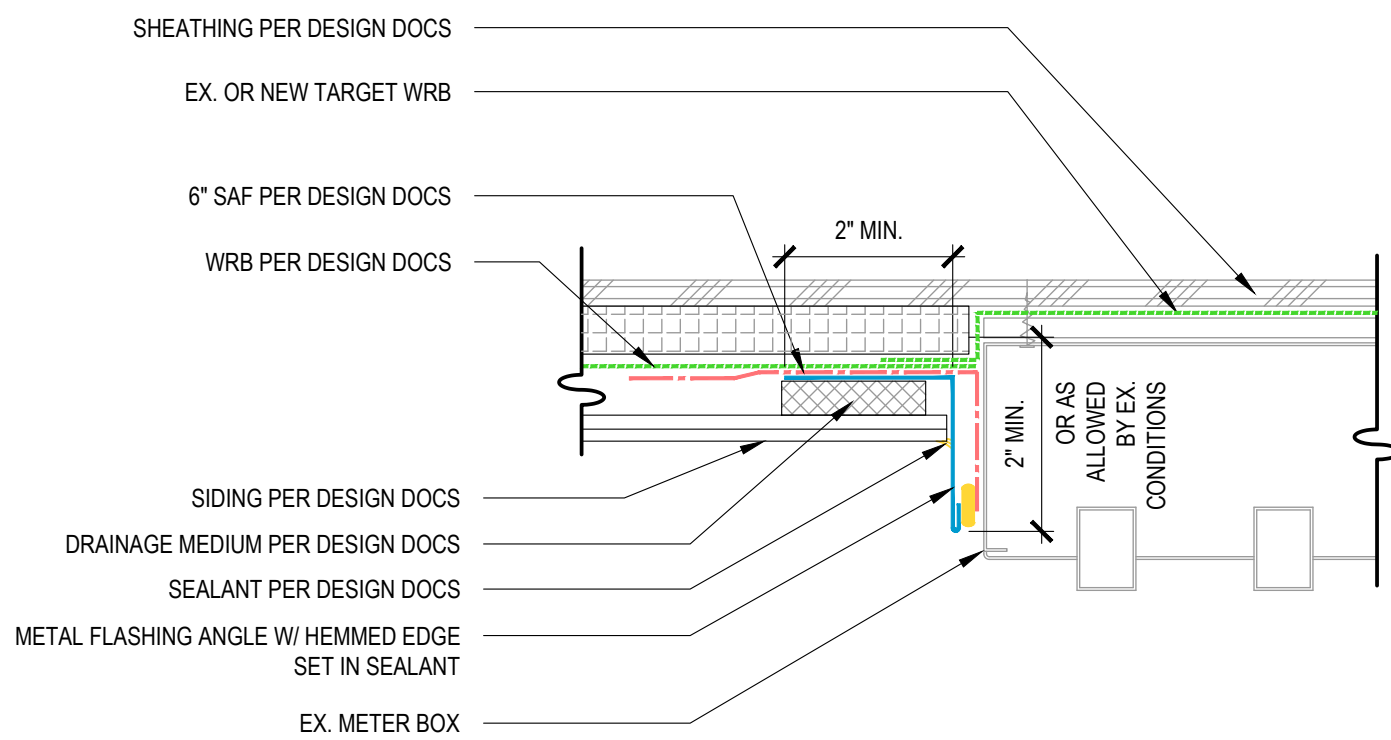
Issue Date: 11/22/2023

Job #: 5631001

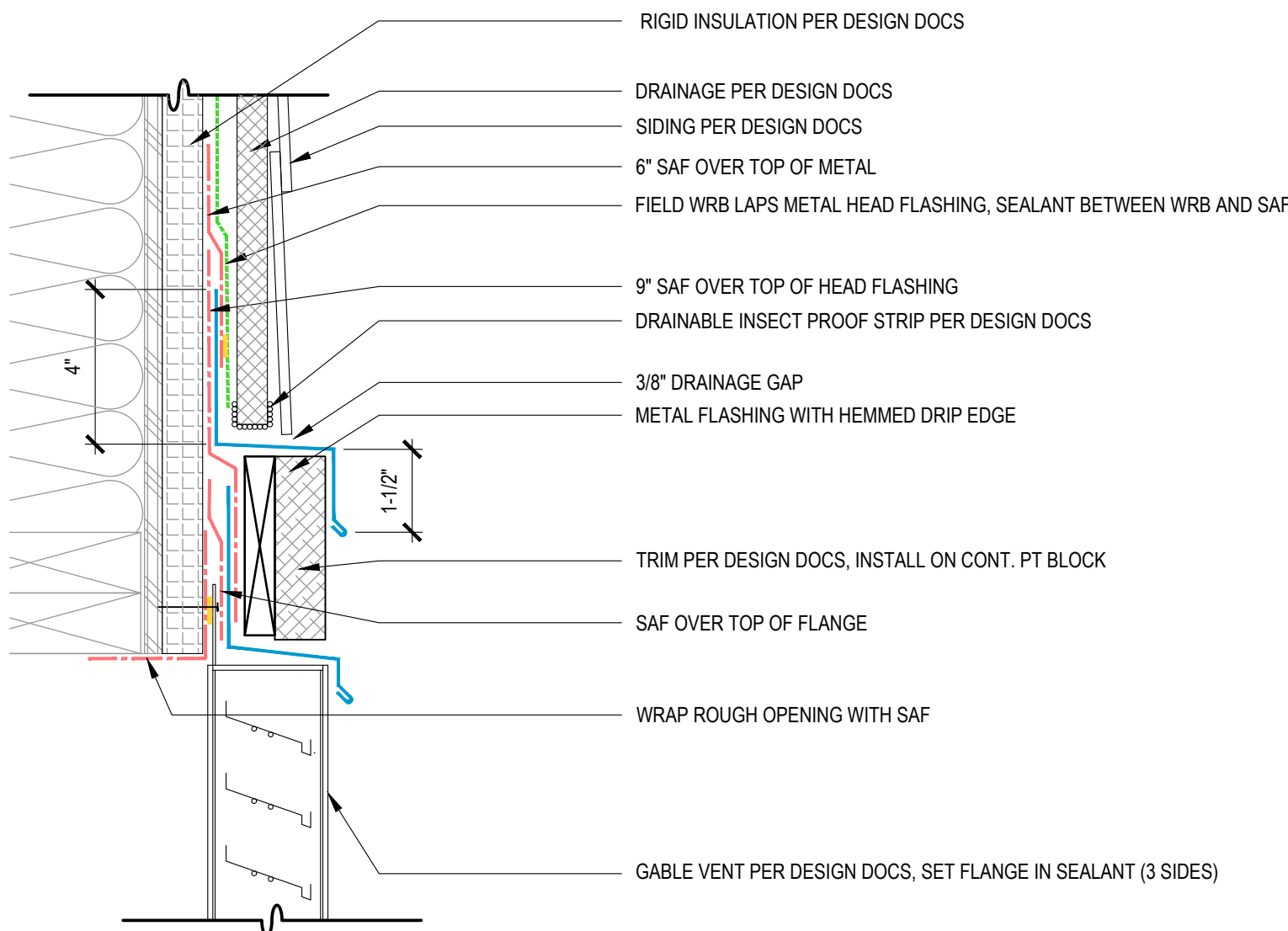
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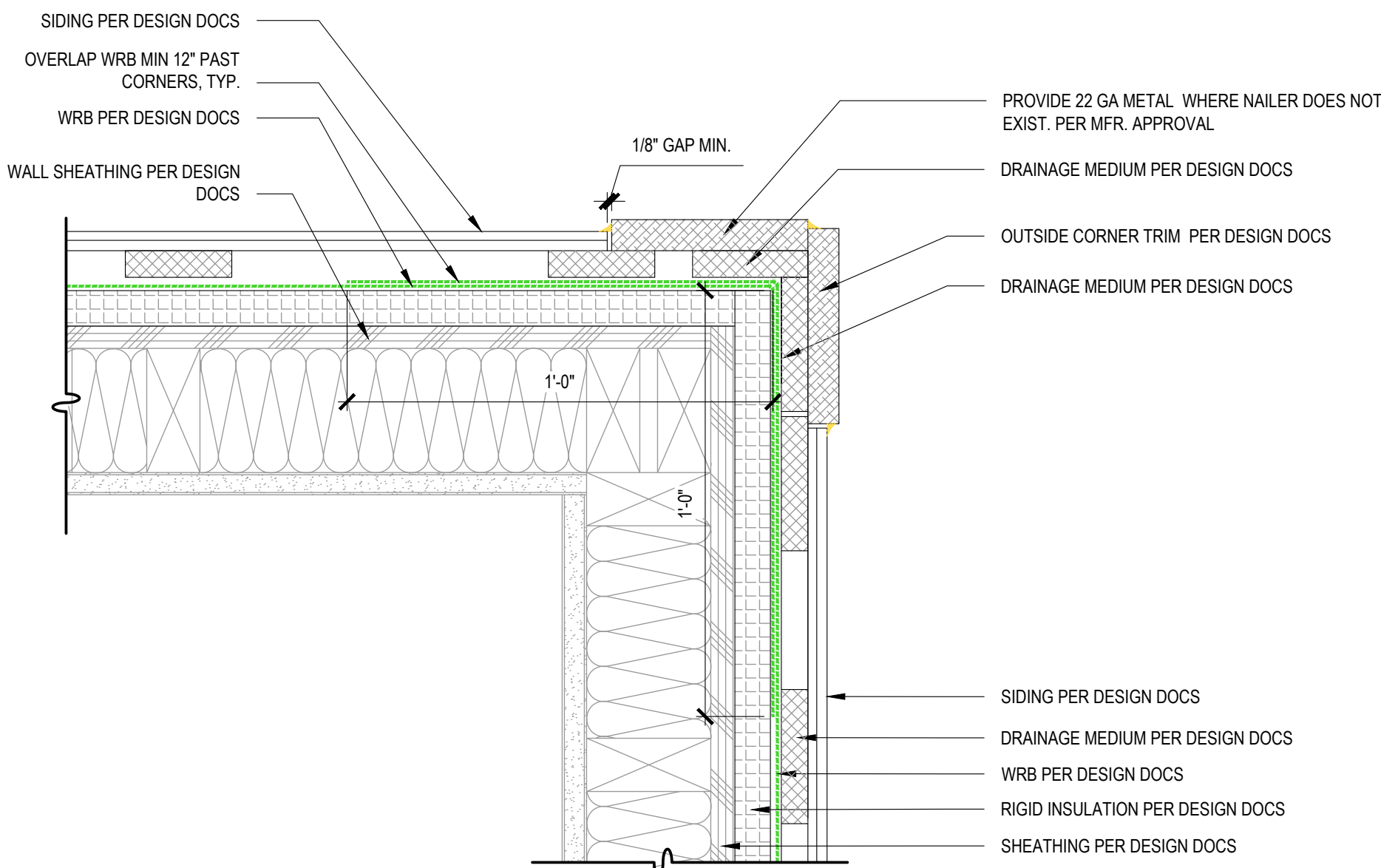
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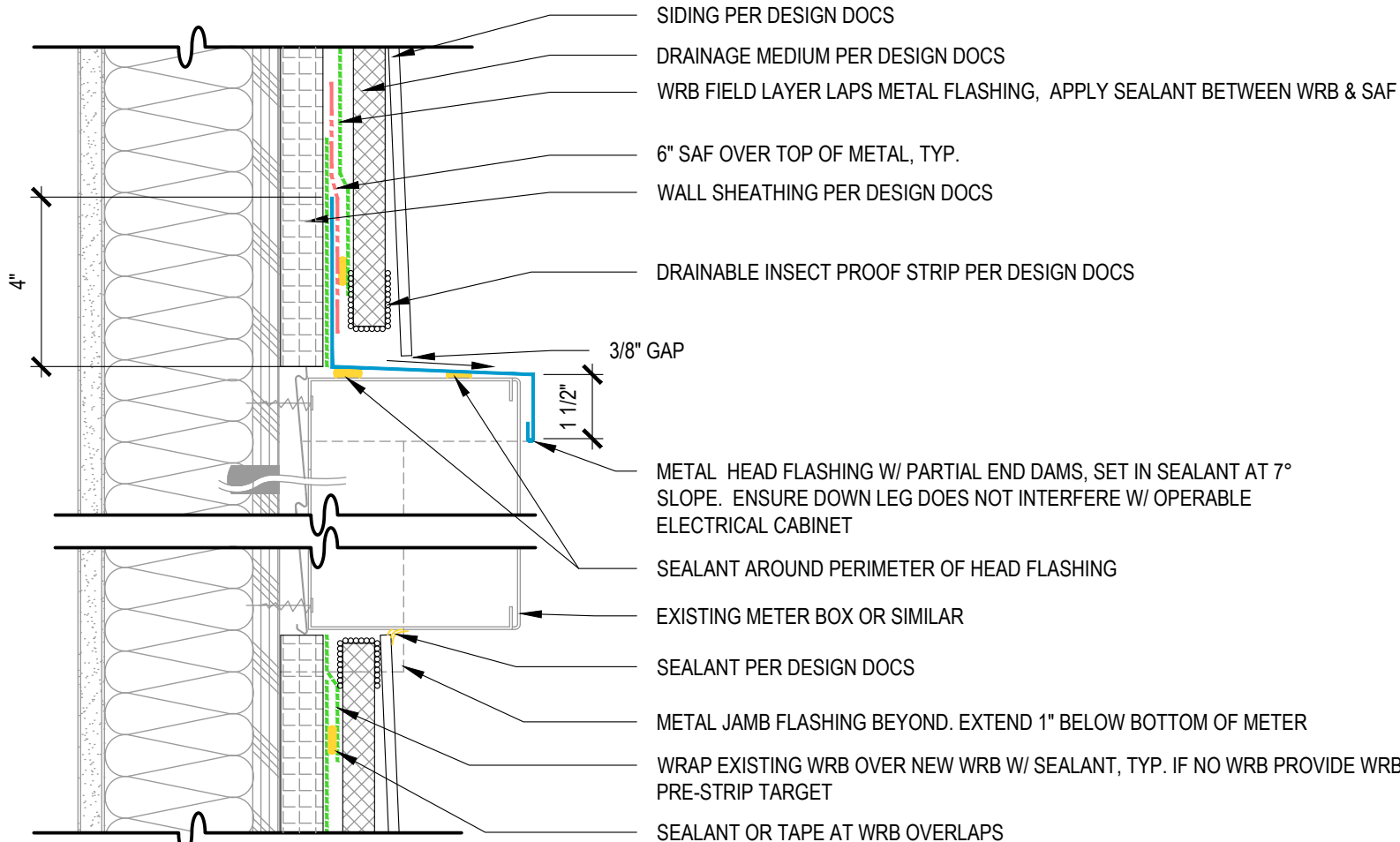
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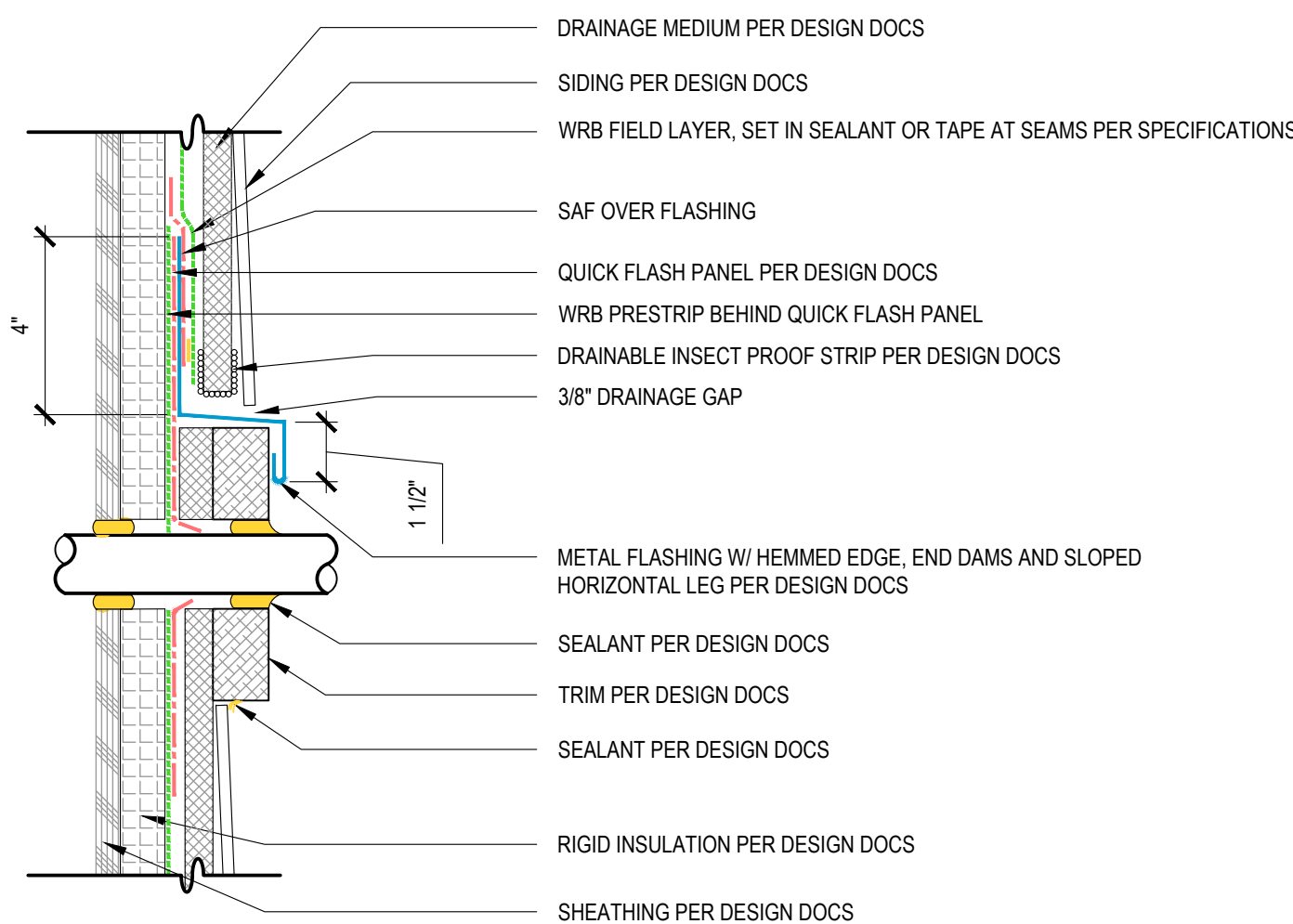
9 / W3.5 GABLE VENT HEAD - TYPICAL SIDING/EXTERIOR INSULATION



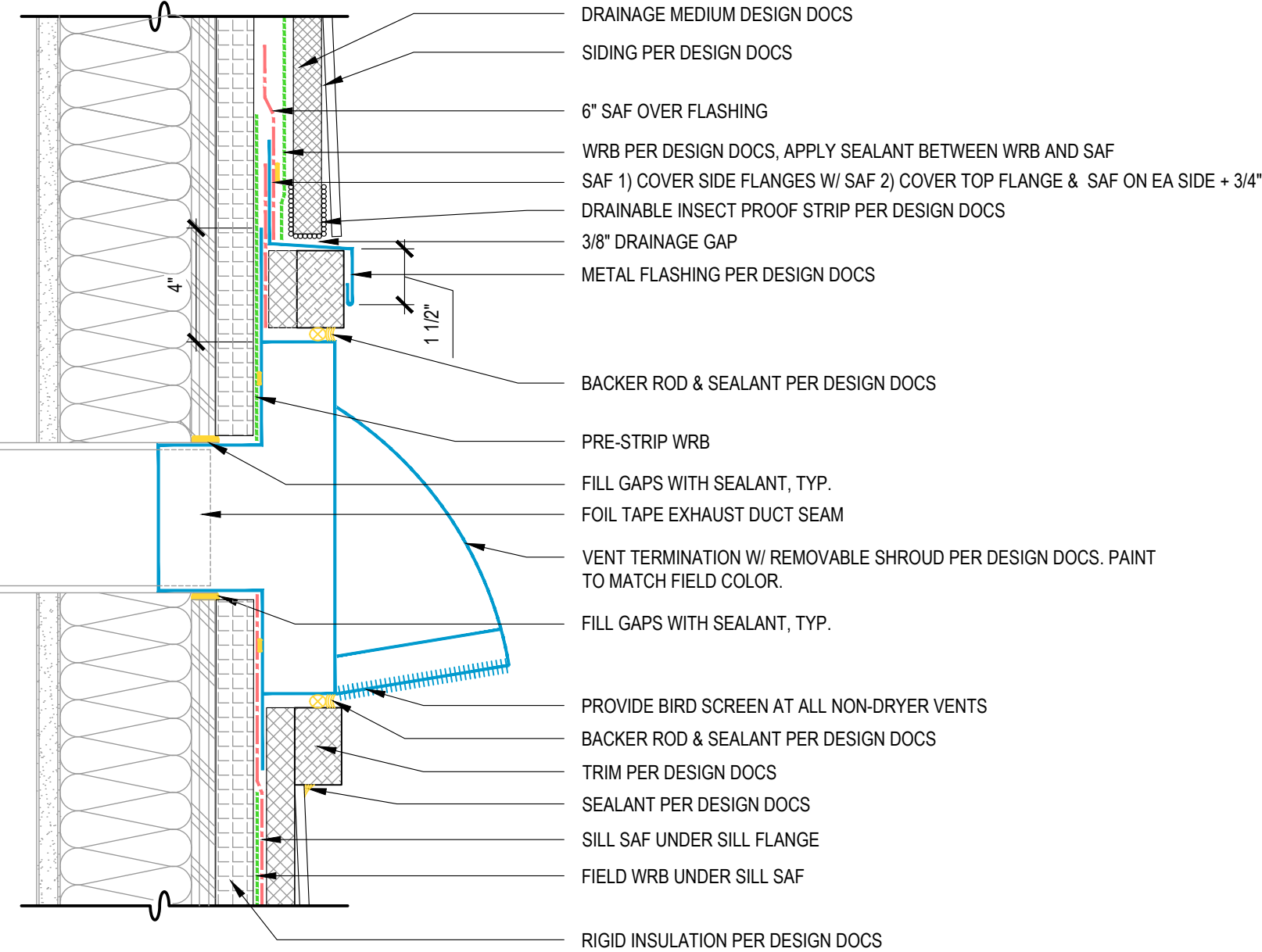
2 / W3.5 TRIM AT OUTSIDE CORNER - TYPICAL SIDING/EXTERIOR INSULATION



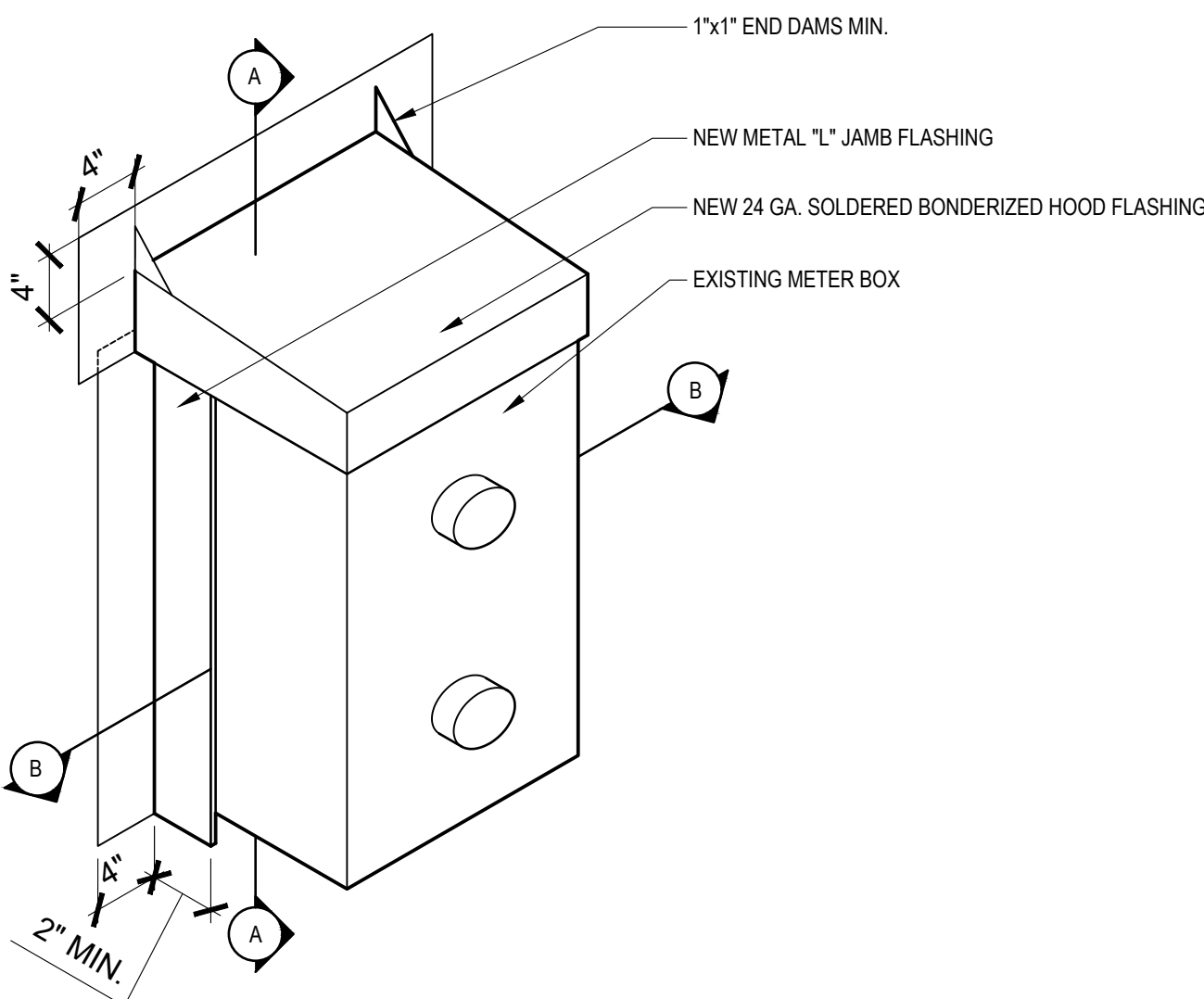
5 / W3.5 ELECTRICAL HOOD SECTION A-A (HEAD/SILL) - TYPICAL SIDING/EXTERIOR INSULATION



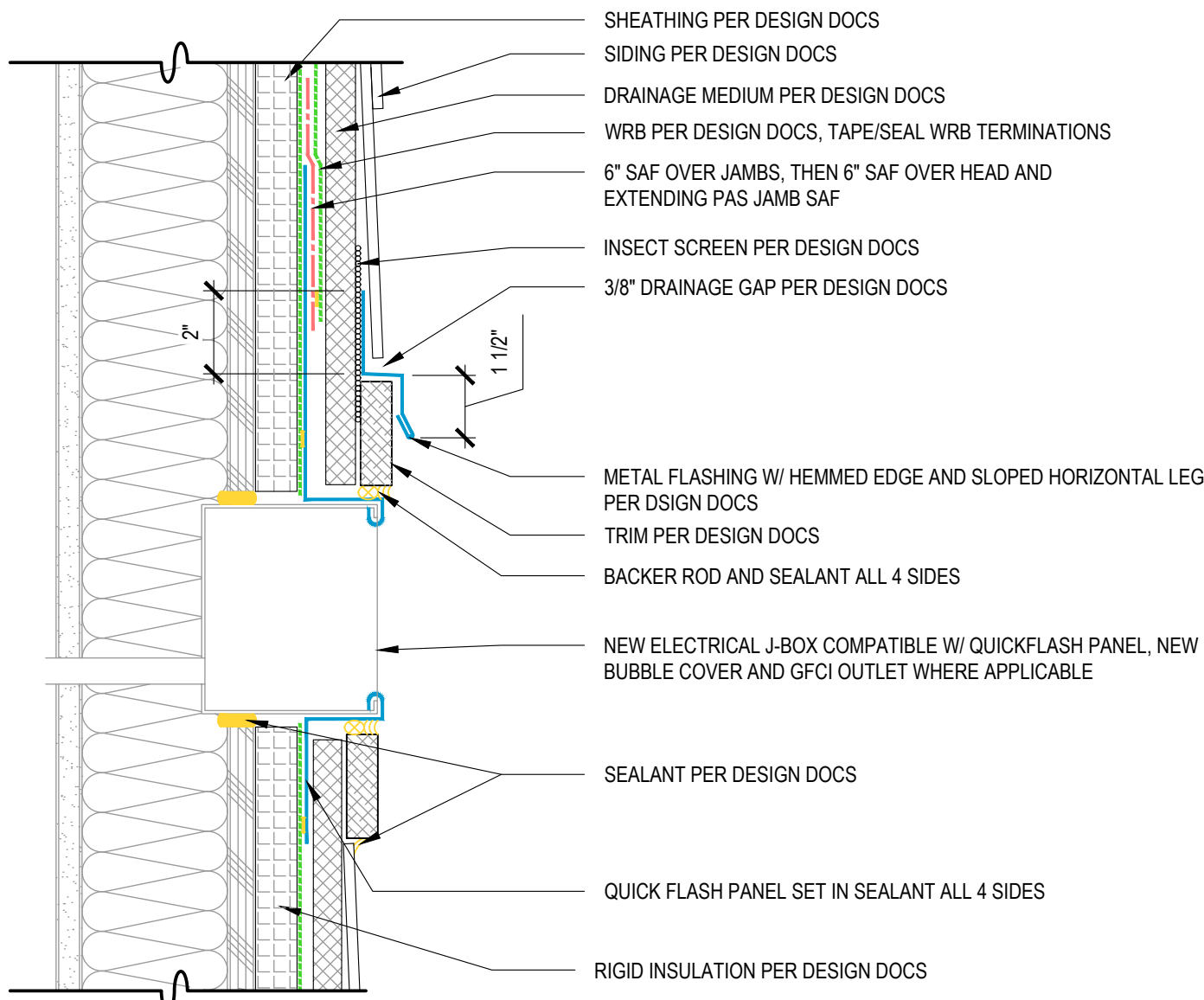
8 / W3.5 PIPE PENETRATION - TYPICAL SIDING/EXTERIOR INSULATION



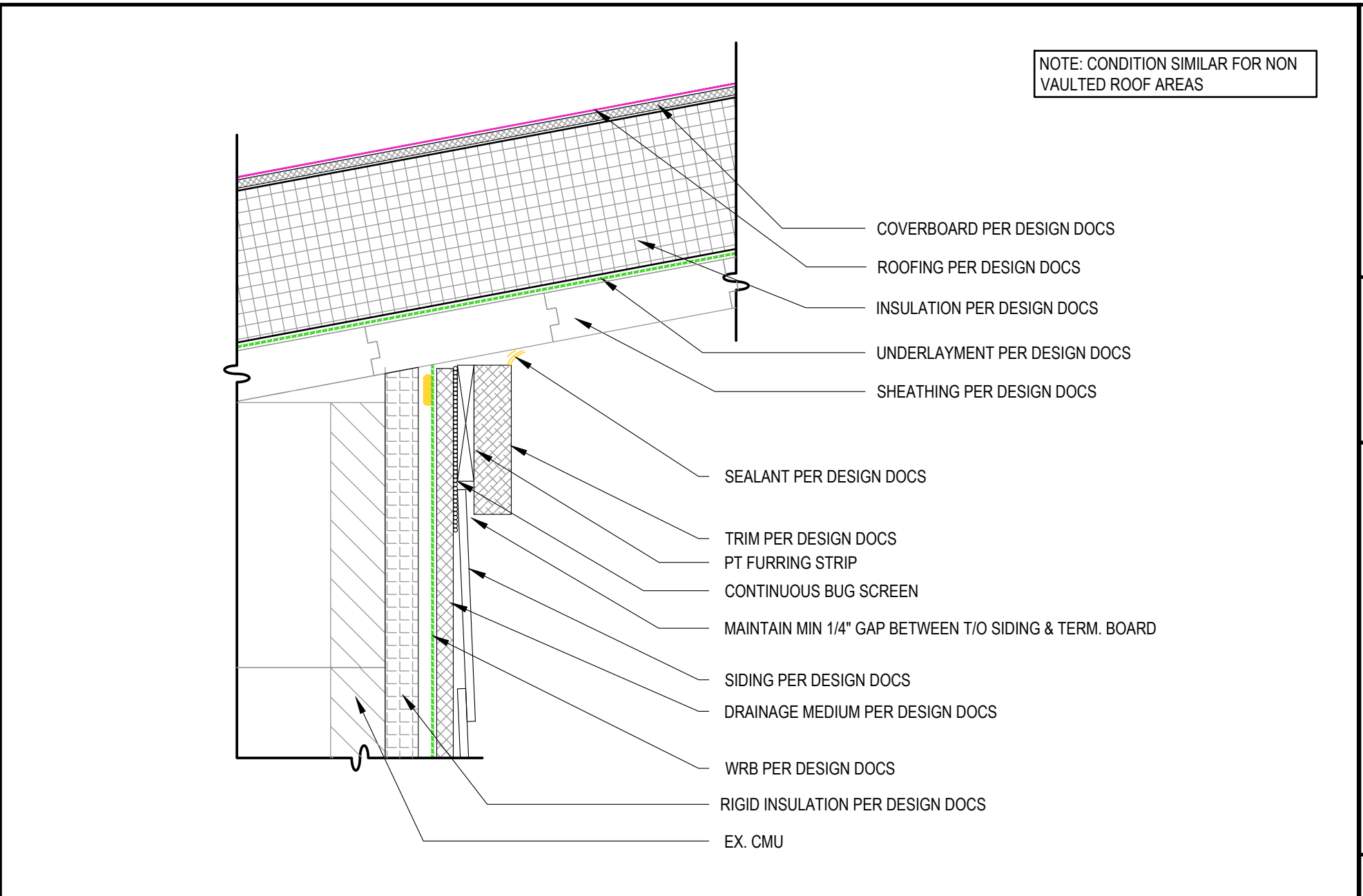
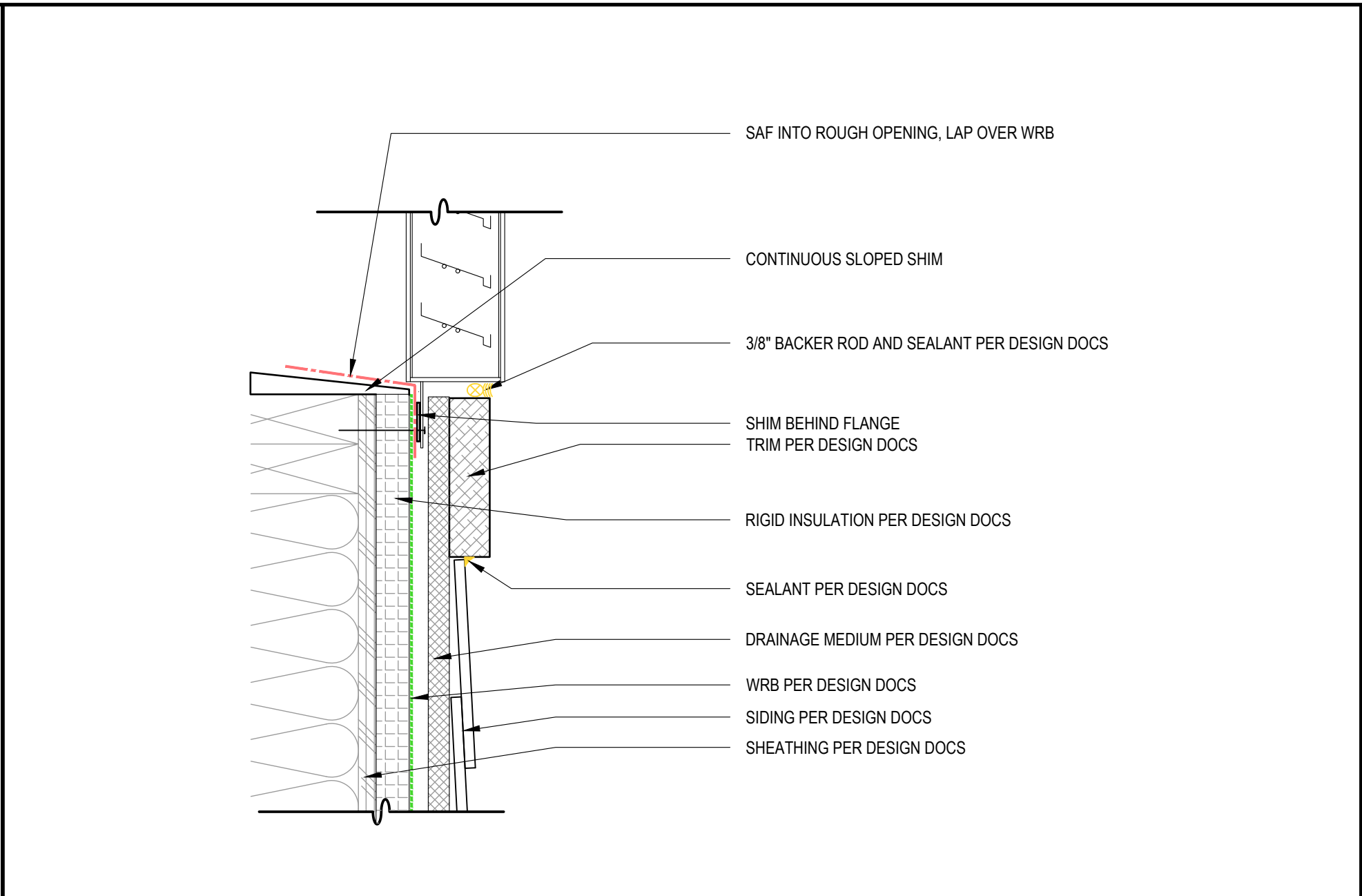
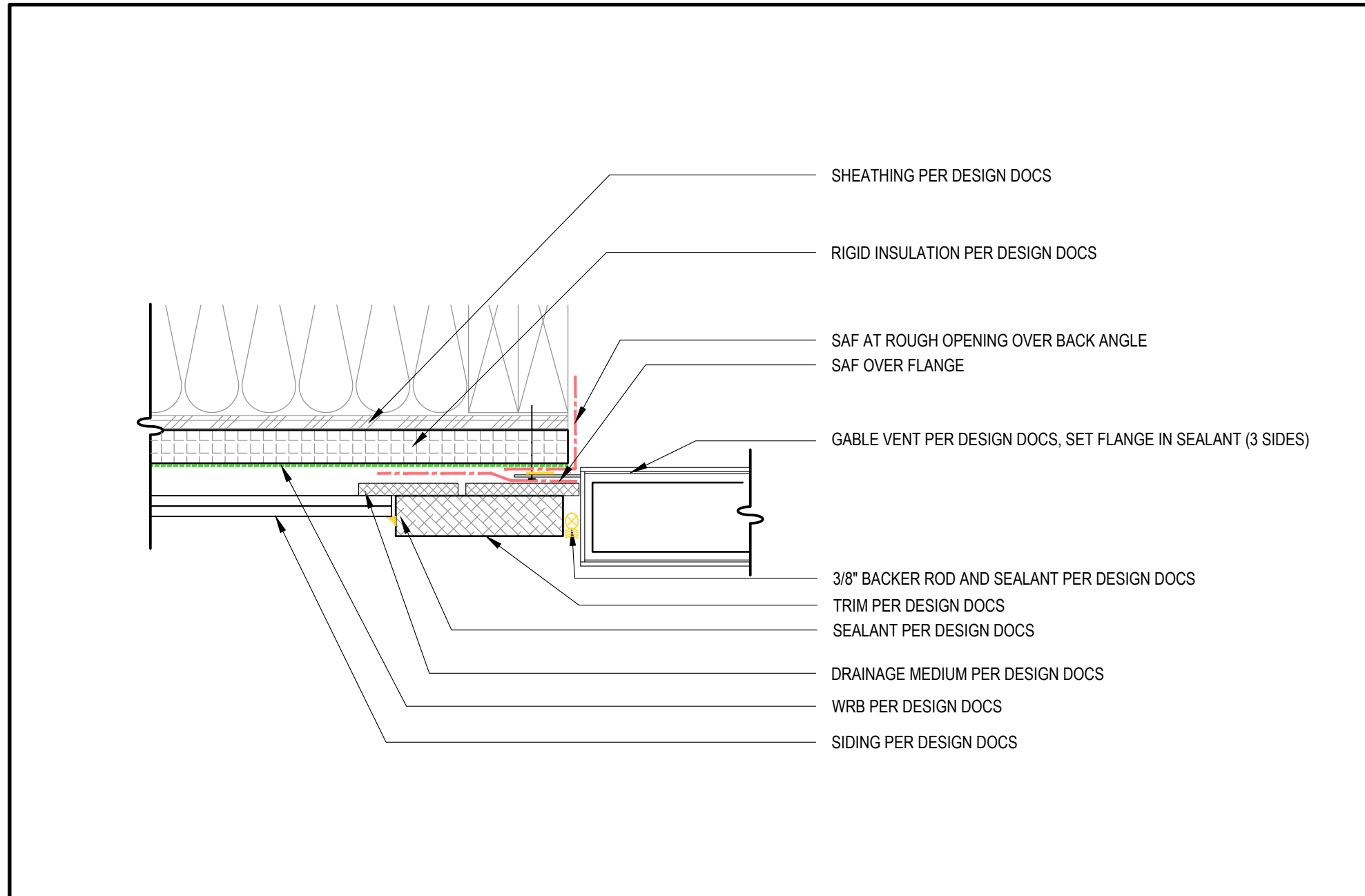
1 / W3.5 HVAC VENT HOOD PENETRATION - TYPICAL SIDING/EXTERIOR INSULATION



4 / W3.5 ELECTRICAL HOOD ISO



7 / W3.5 ELECTRICAL PENETRATION BLOCK - TYPICAL SIDING/EXTERIOR INSULATION



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Project Title:

PACIFIC VIEW
CONDOMINIUMS

BUILDING ENVELOPE

Sheet Title:

**WEATHERIZATION
DETAILS - WALLS**

Scale: As Noted

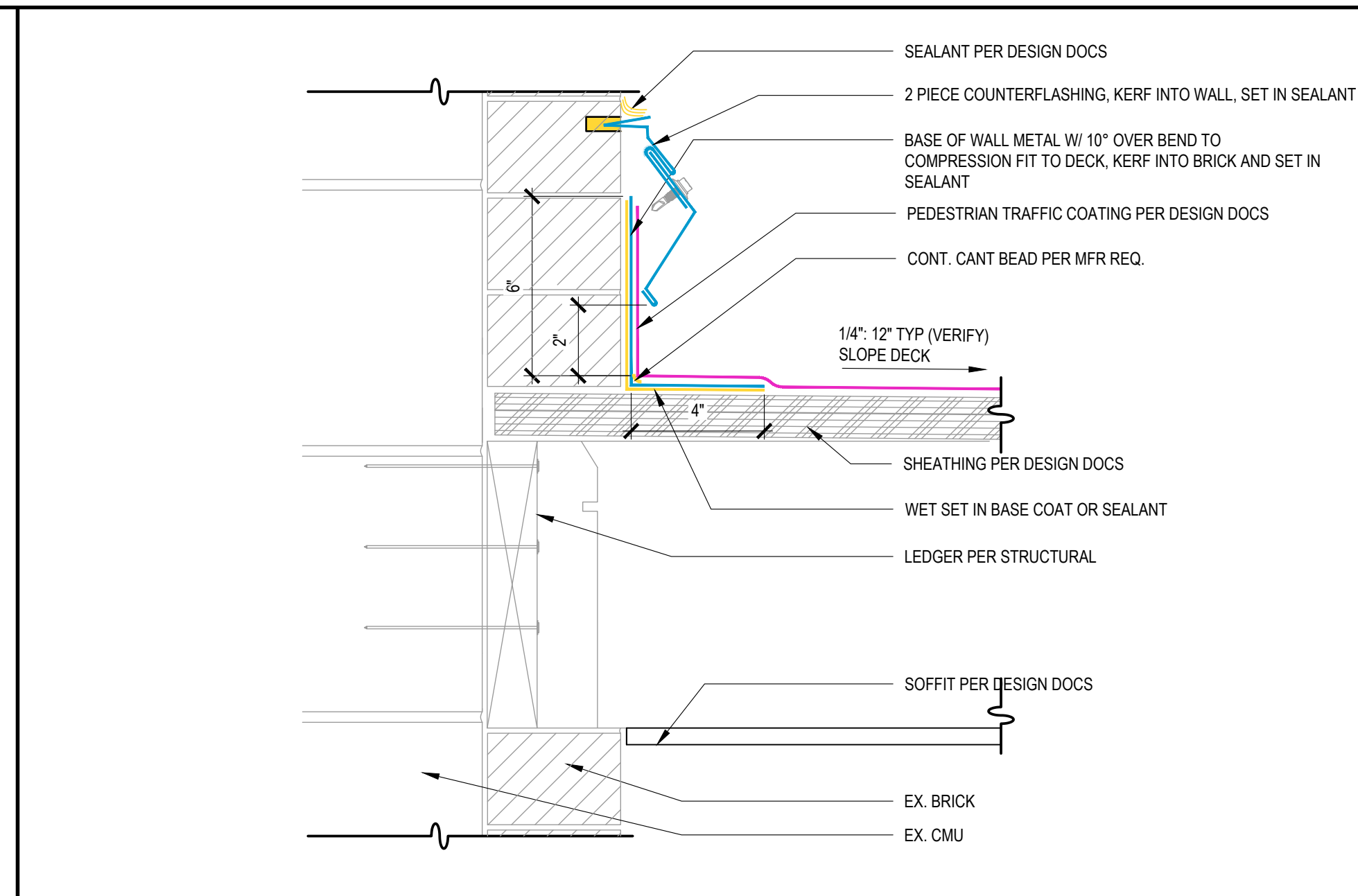
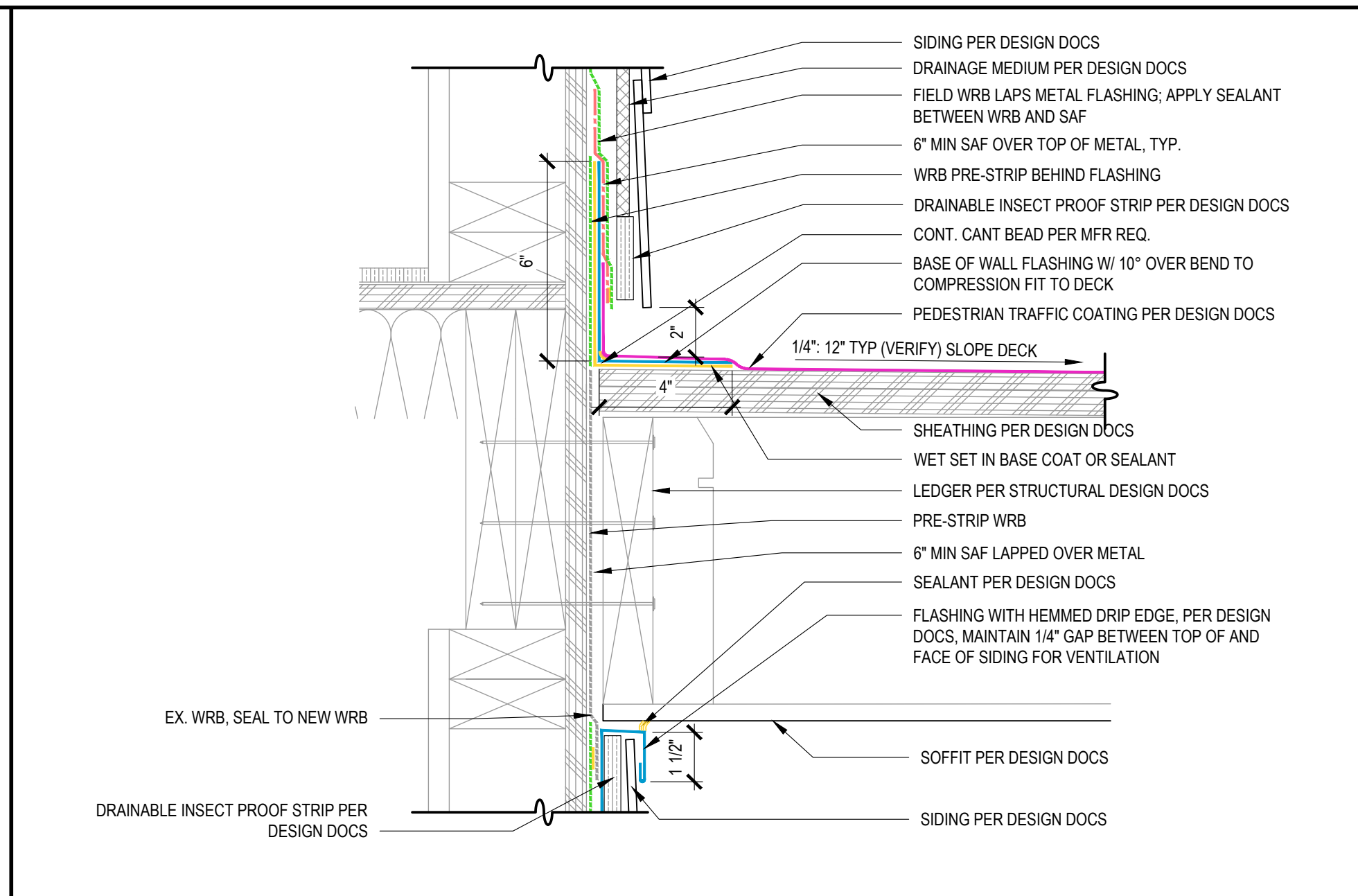
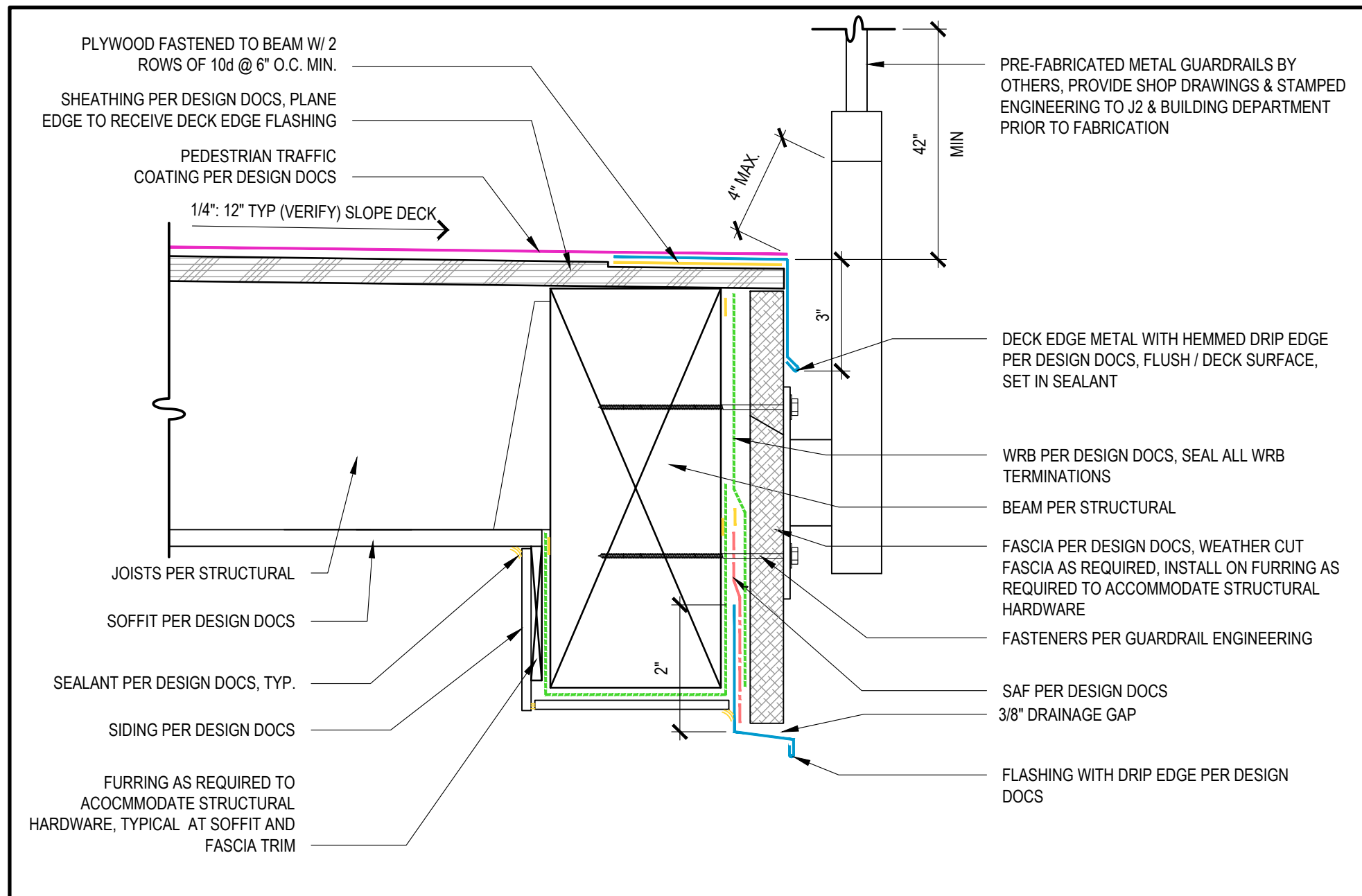
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Checked By:	REP/JKJ

Issue Date: 11/22/2023	Sheet Number: W3 C
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1 / W4.1	DECK EDGE - PEDESTRIAN TRAFFIC COATING
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ID: 429
SCALE: NTS

2 / W4.1	DECK TO WALL - PLYWOOD/TRAFFIC COATING - TYPICAL SIDING
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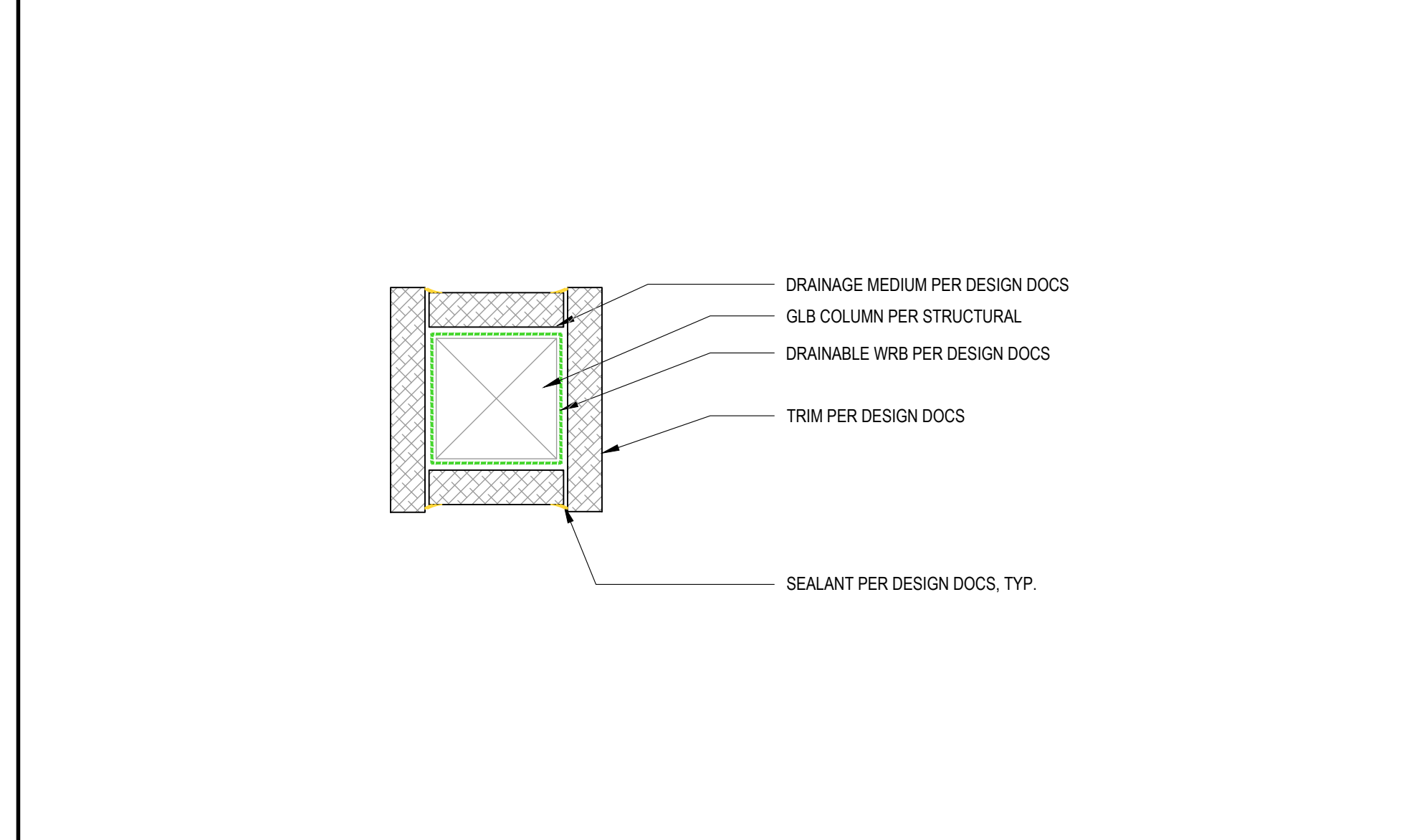
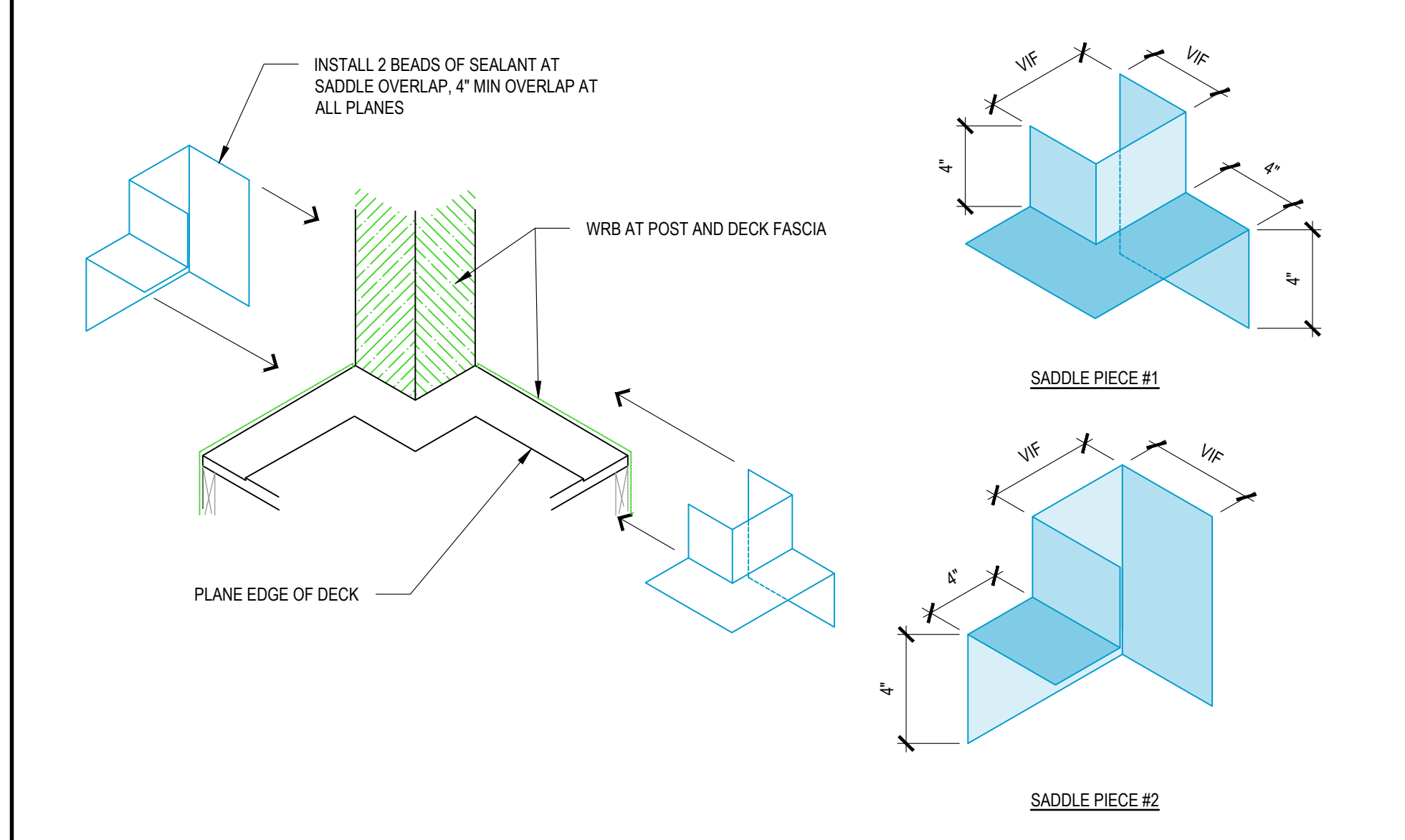
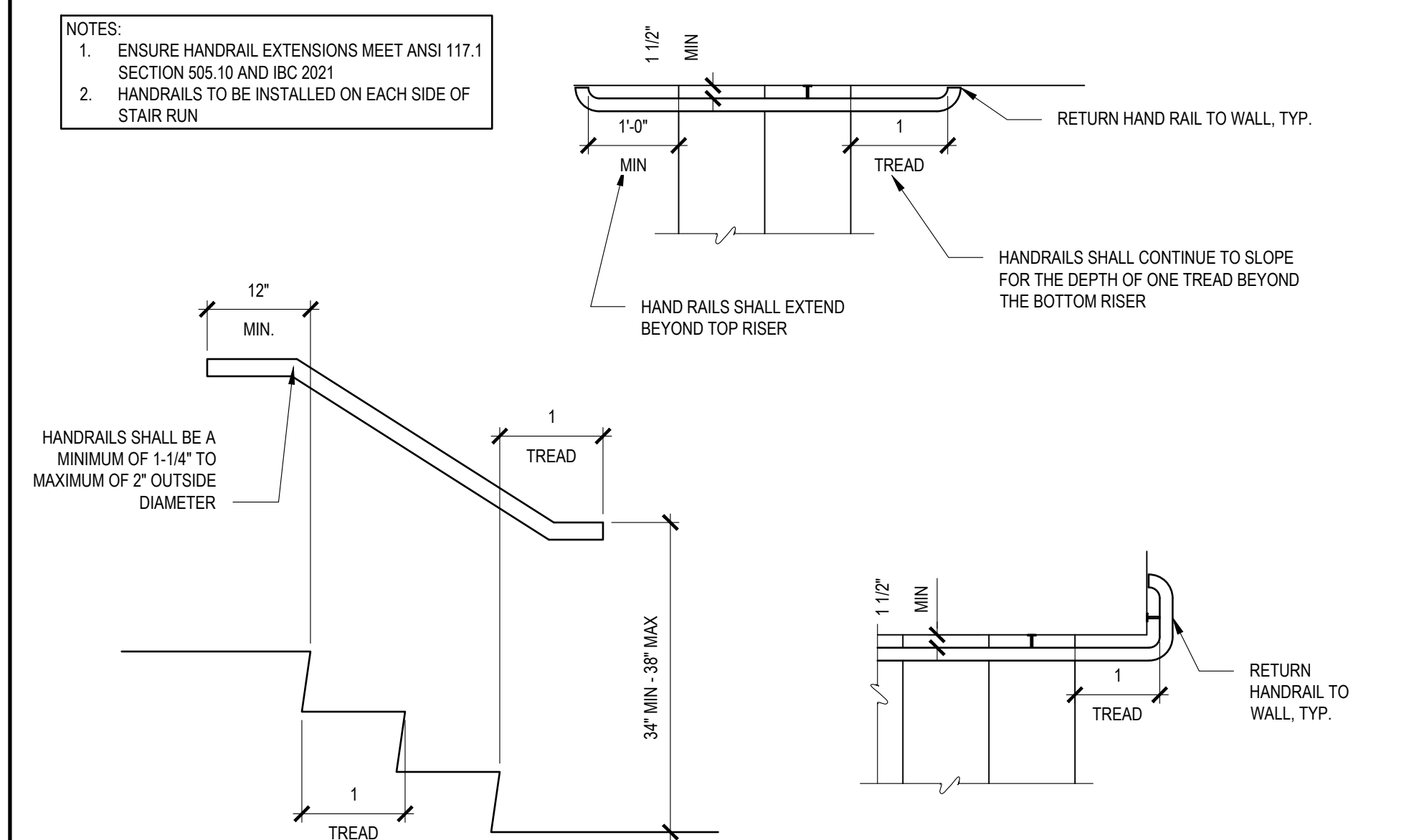
ID: 89
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3 / W4.1	DECK TO WALL - PLYWOOD/TRAFFIC COATING - BRICK
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ID: _____
SCALE: NTS

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4 / W4.1	HANDRAIL REFERENCE
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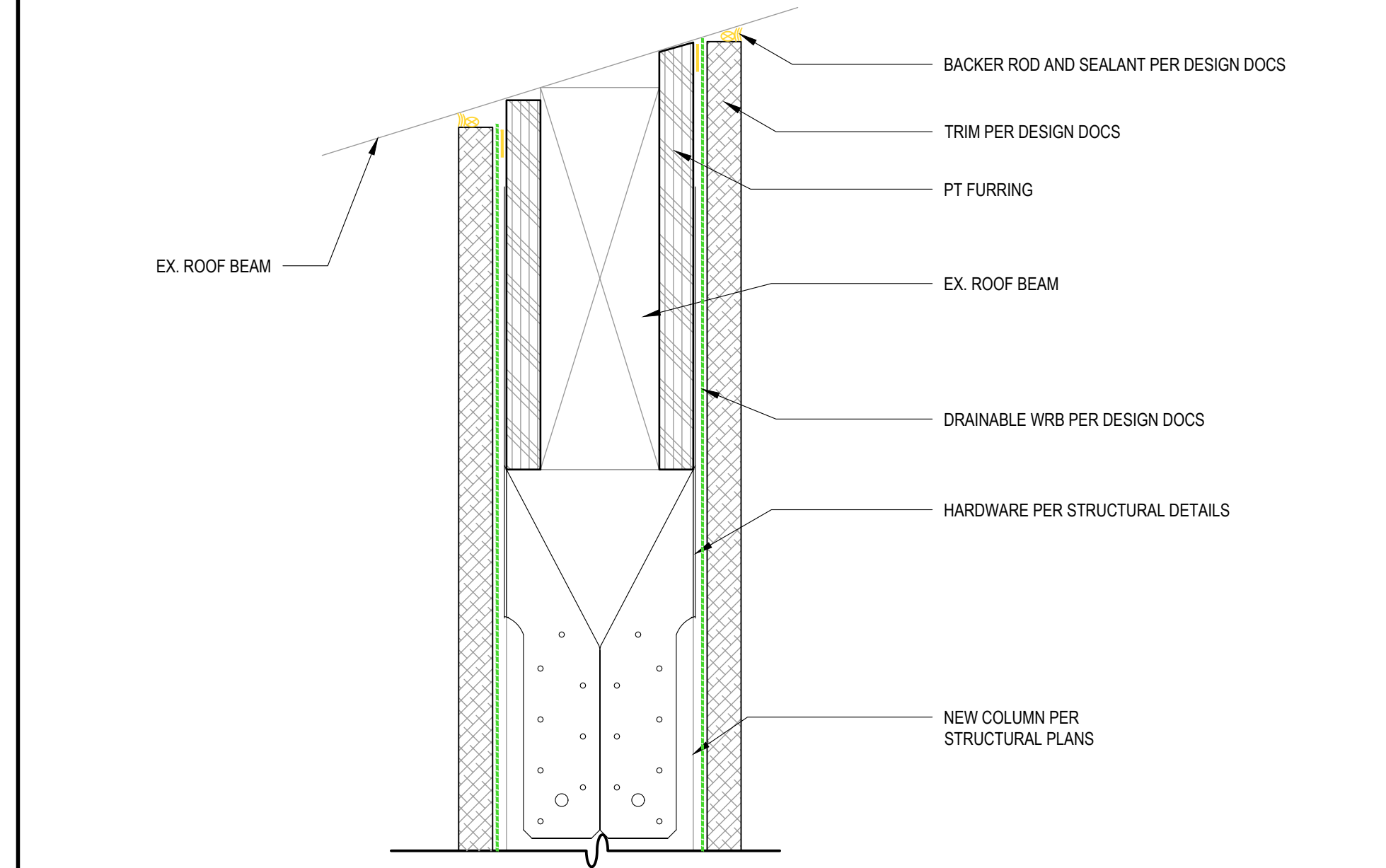
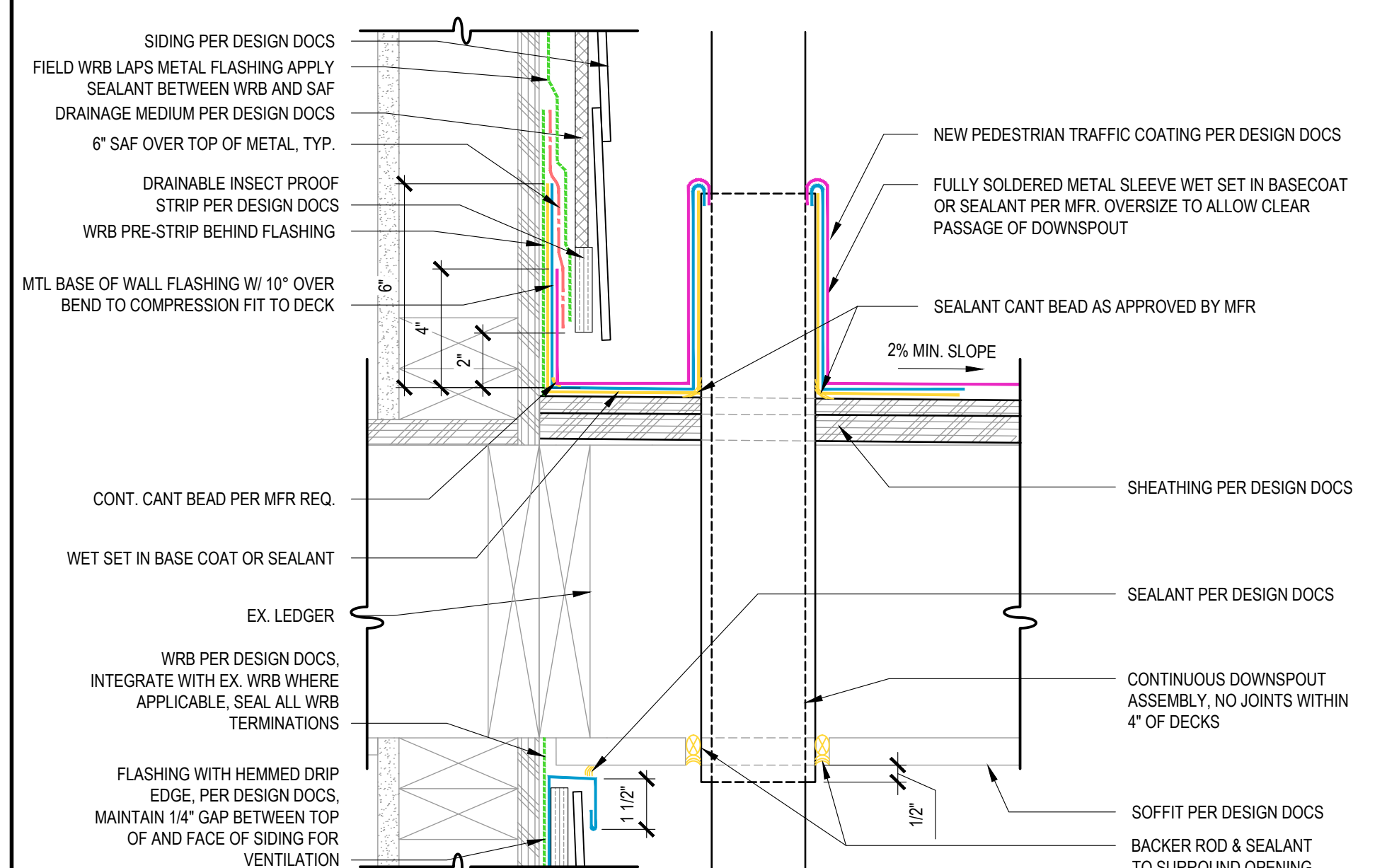
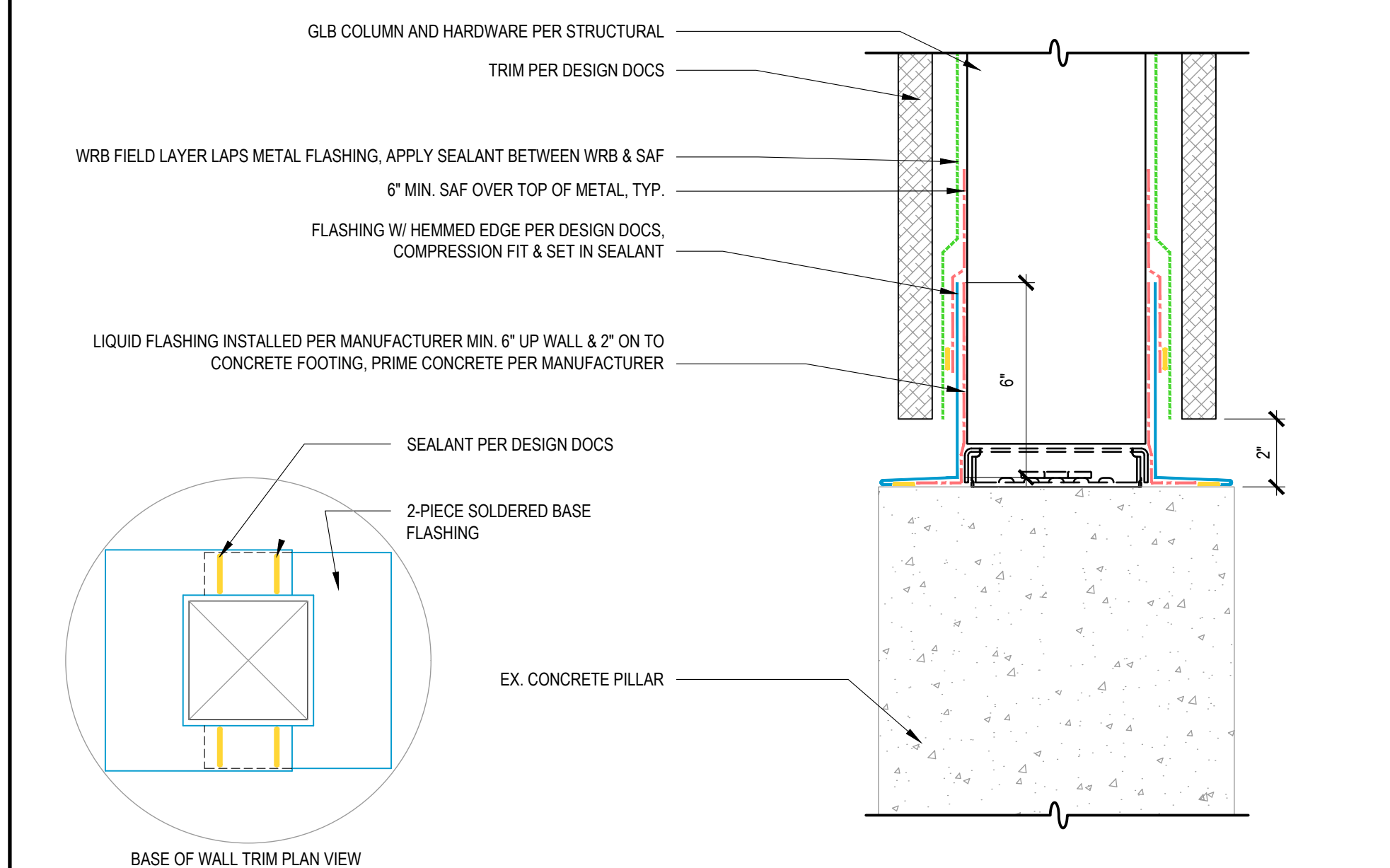
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5 / W4.1	2 PIECE COLUMN SADDLE WRAP AT DECKS
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ID: 1174
SCALE: NTS

6 / W4.1	GLB COLUMN WRAP - TYPICAL SIDING
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ID: 1099
SCALE: NTS



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PACIFIC VIEW CONDOMINIUMS

BUILDING ENVELOPE

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**WEATHERIZATION
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7 / W4.1	BASE OF POST AT CONC PIER
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ID: 1174
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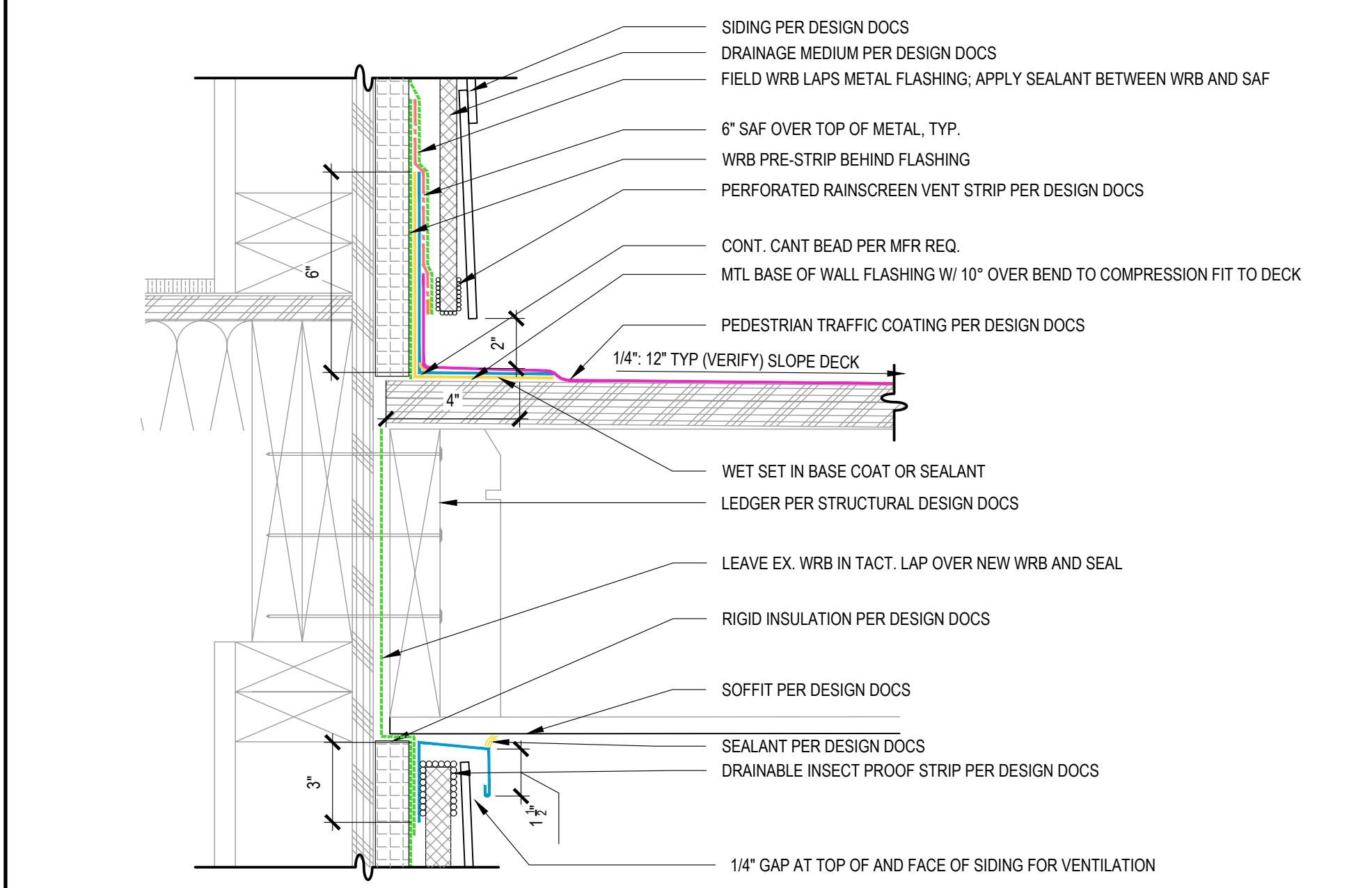
8 / W4.1	DOWNSPOUT AT DECK
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SCALE: NTS _____

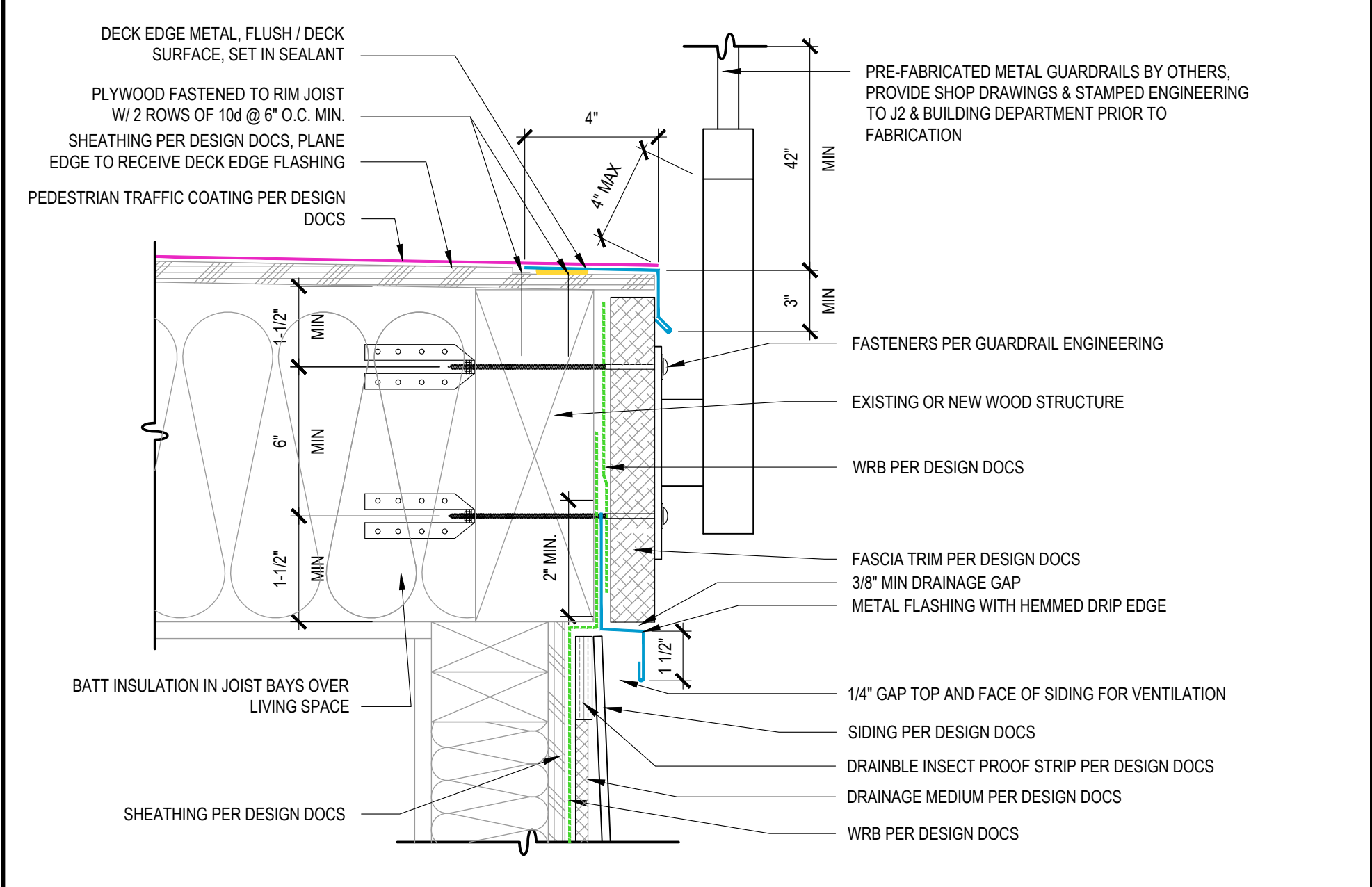
9 / W4.1	COLUMN TO ROOF BEAM CONNECTION
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ID: _____
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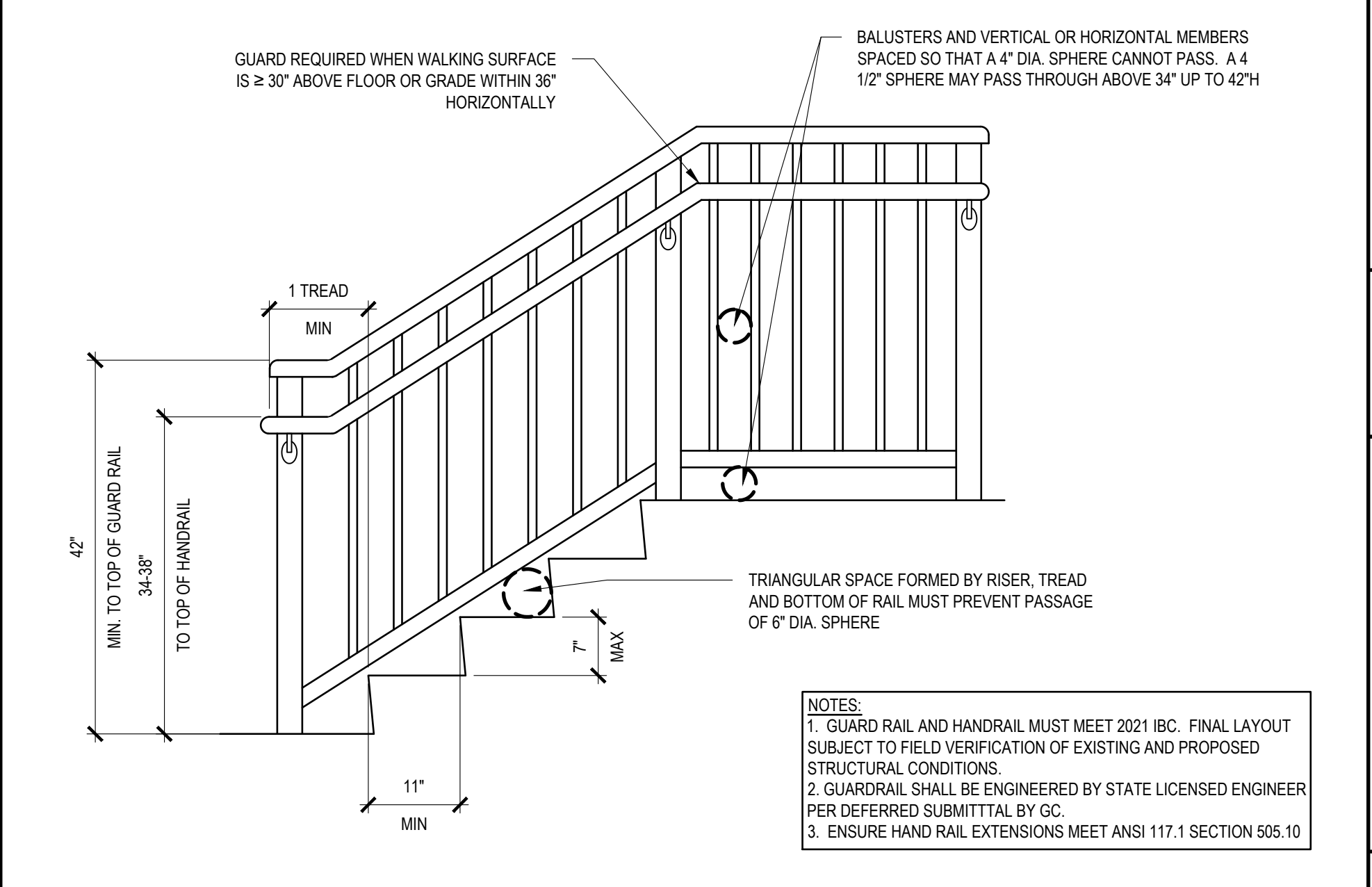
11/22/2023



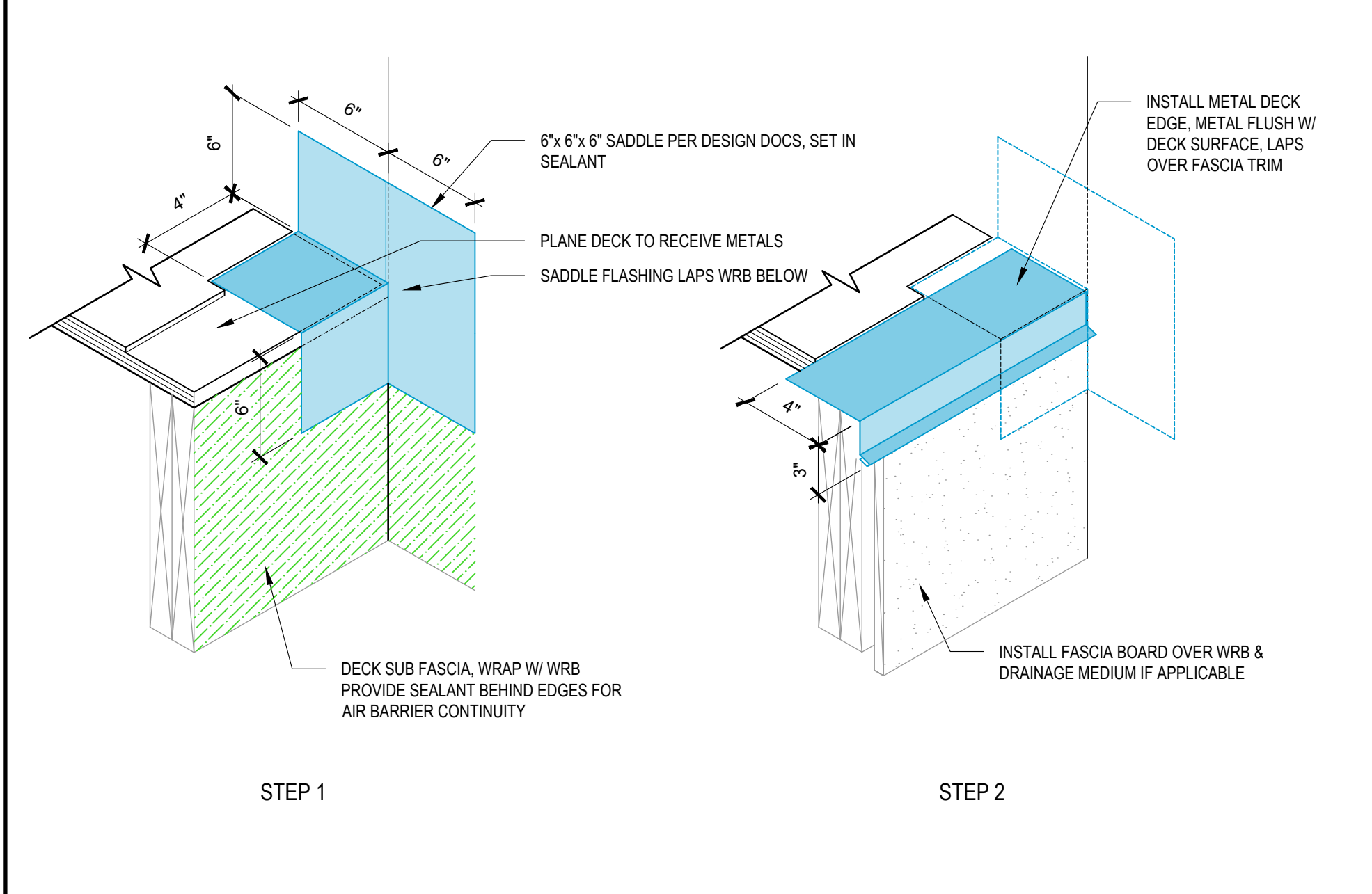
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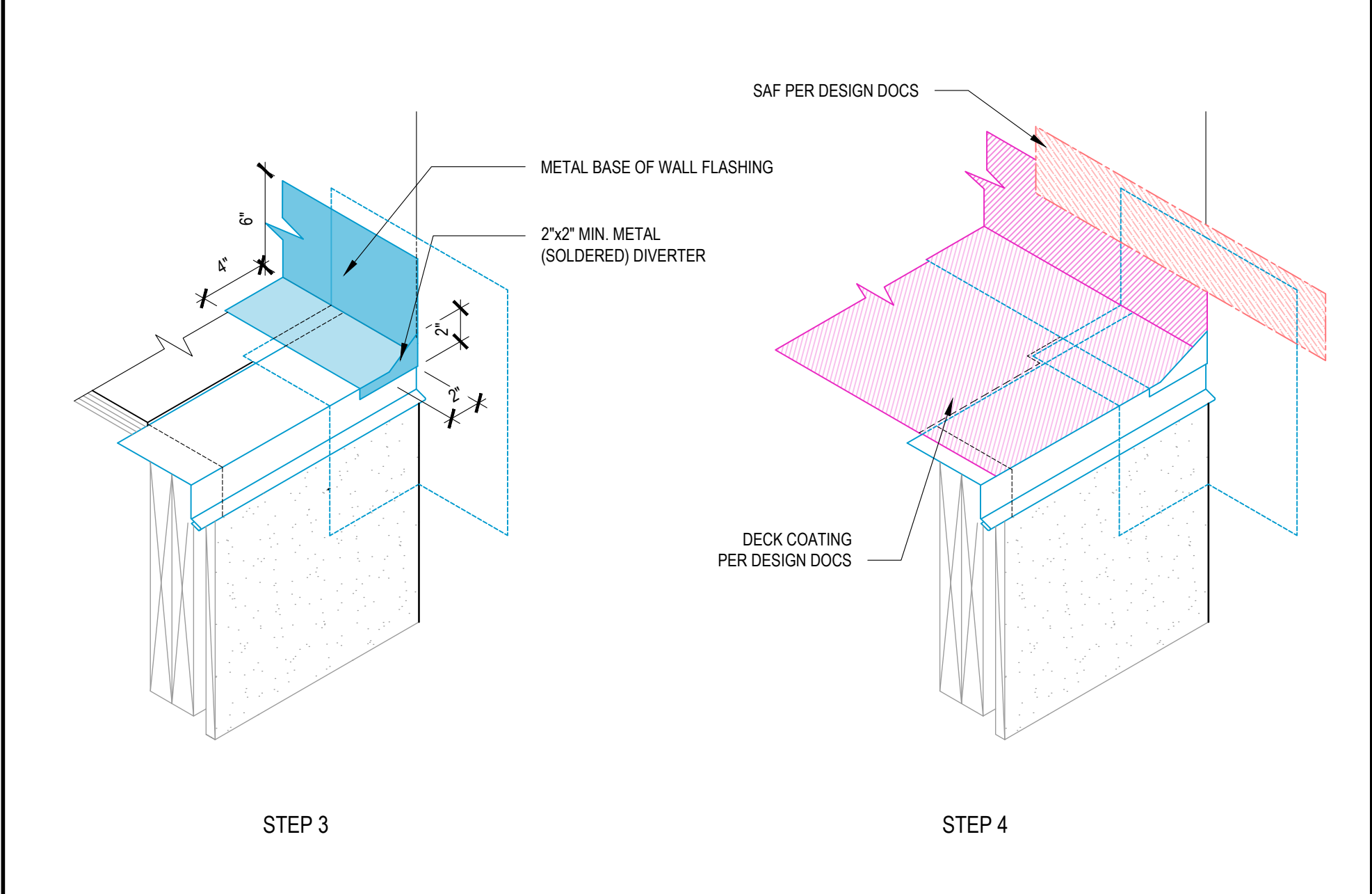
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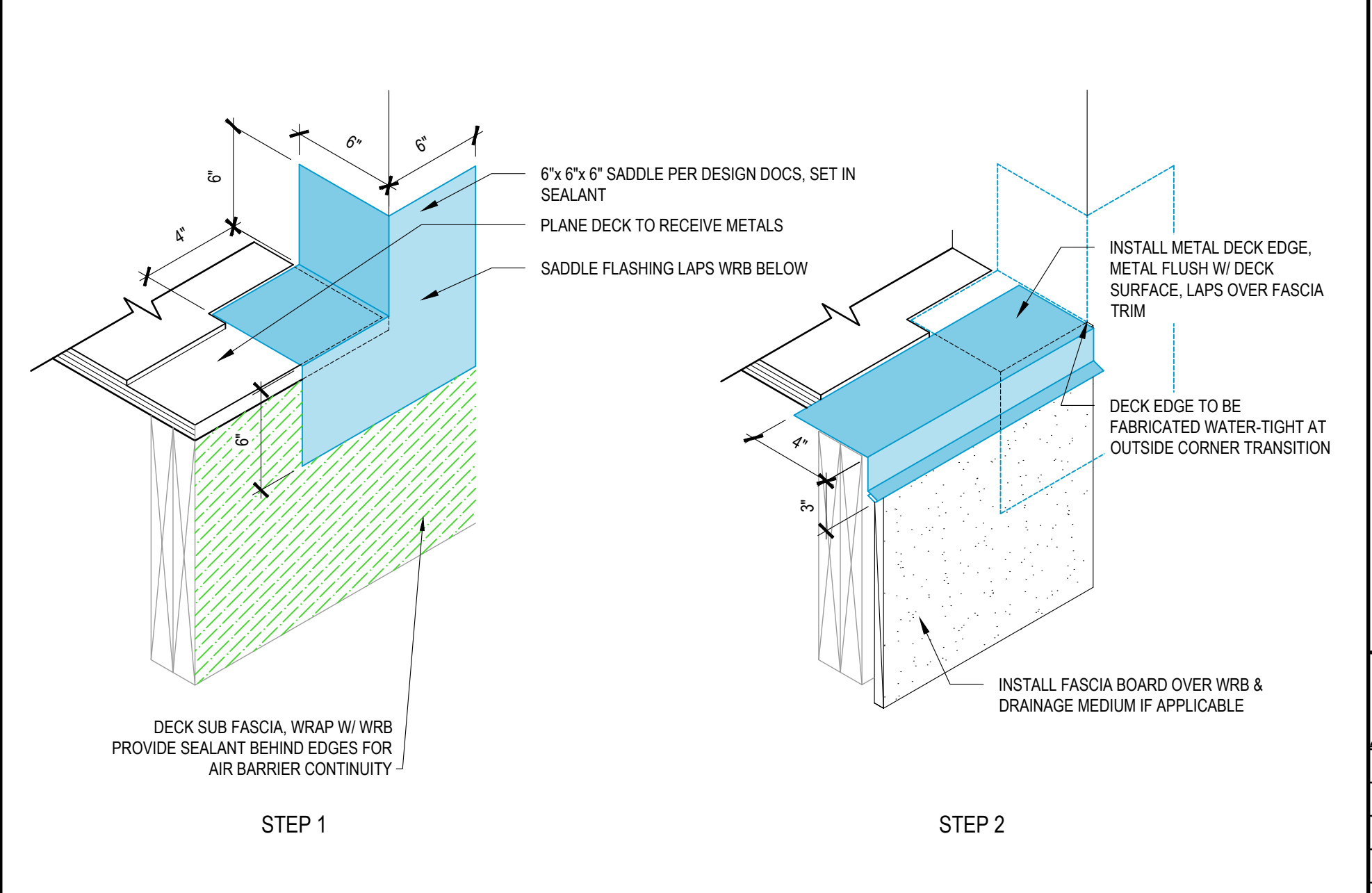
3 / W4.2 GUARDRAIL REFERENCE ID: 107 SCALE: NTS



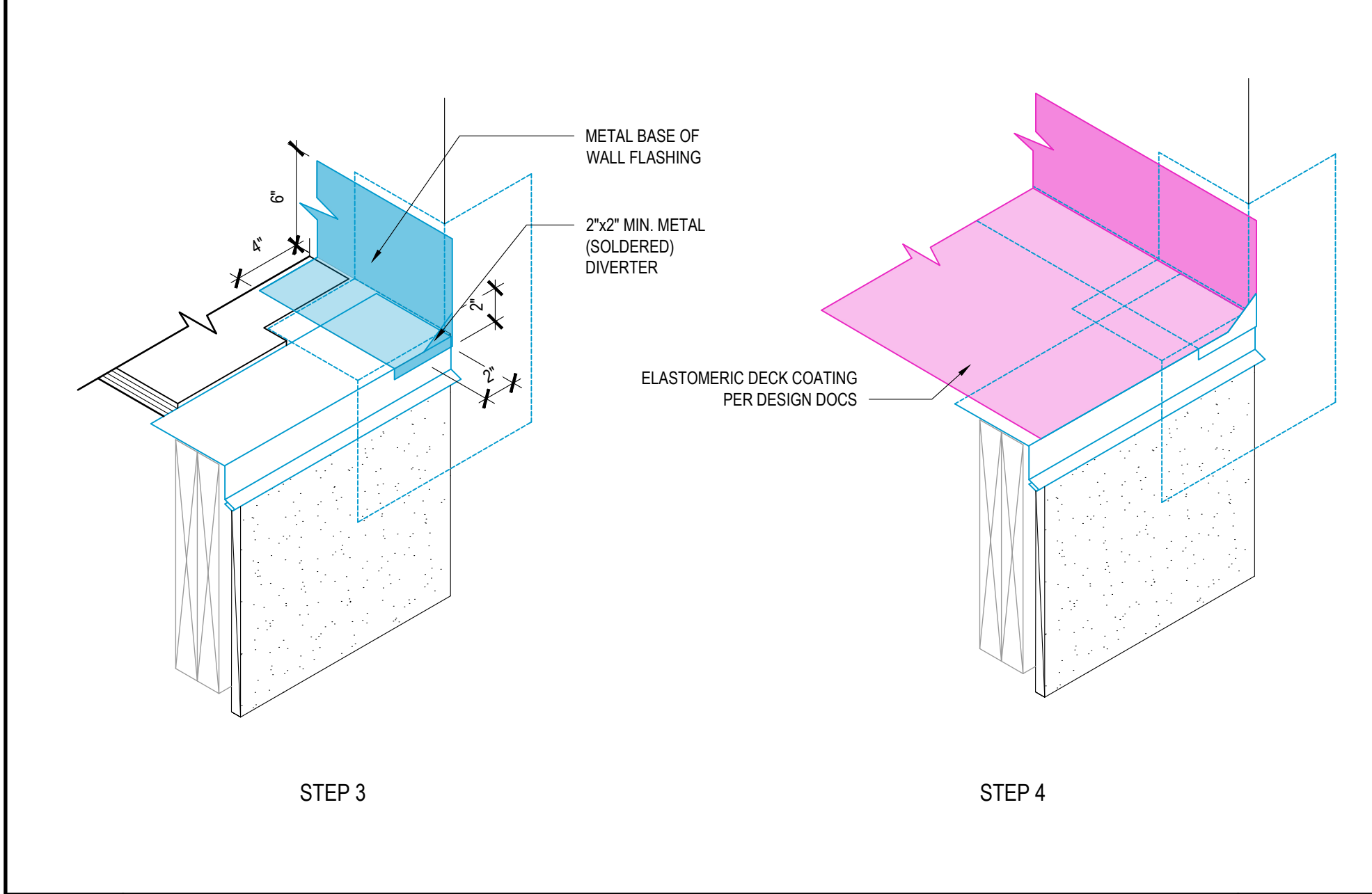
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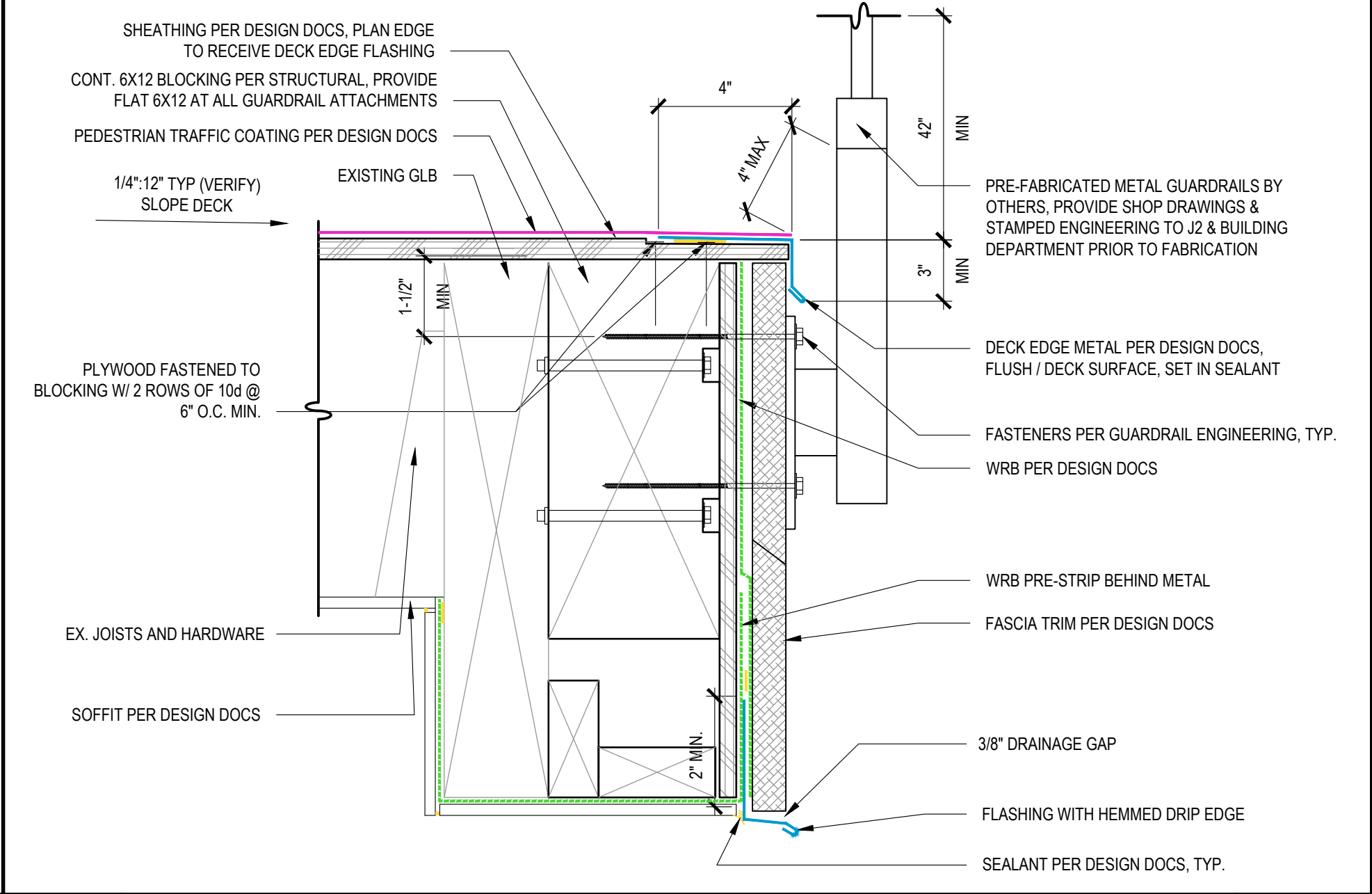
5 / W4.2 DECK TO WALL - DECK SADDLE STEP 3 & 4 - PLYWOOD W/ TRAFFIC COATING ID: 488 SCALE: NTS



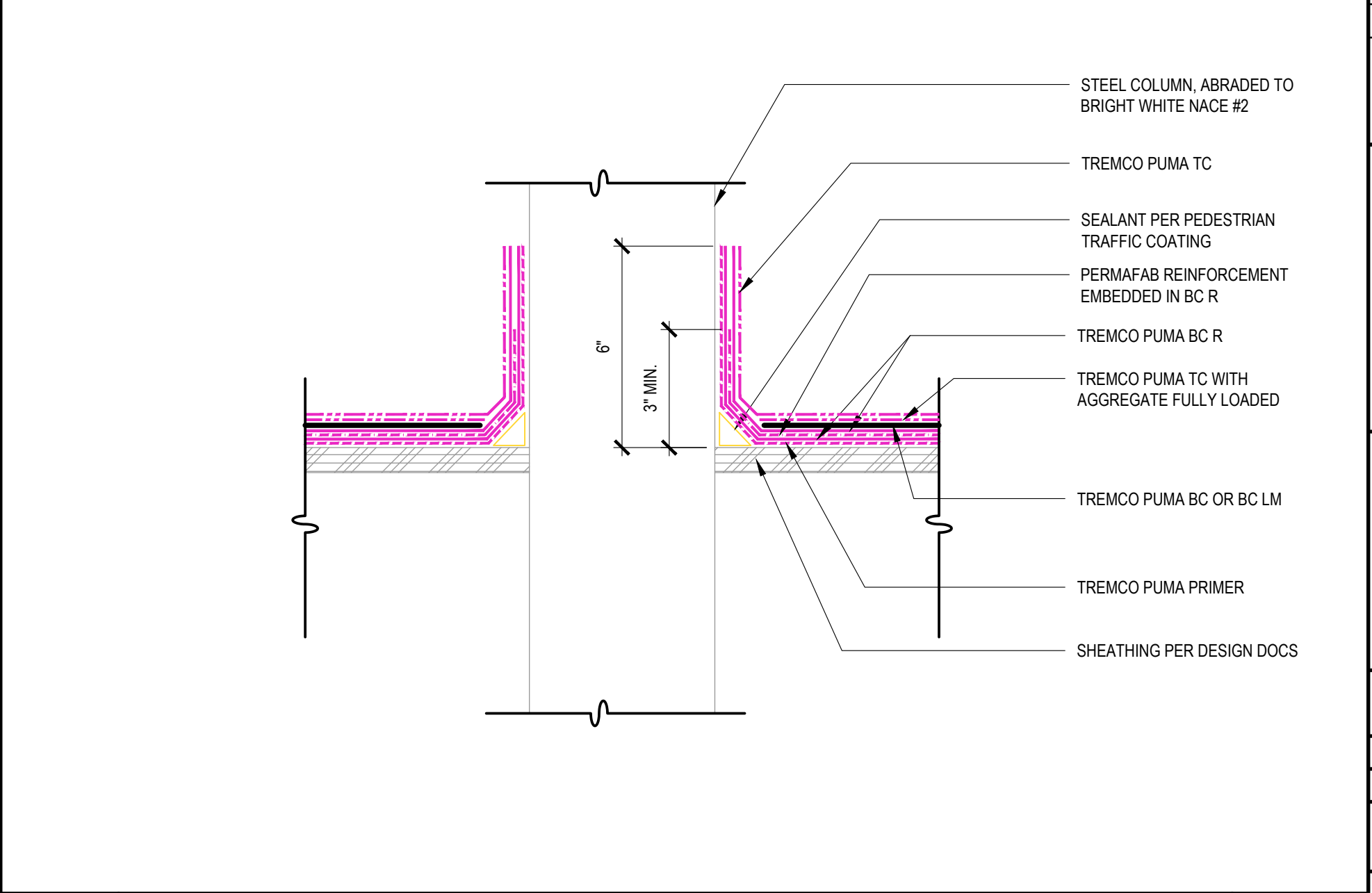
6 / W4.2 DECK SADDLE STEP 1 & 2 - PLYWOOD W/ TRAFFIC COATING ID: 90 SCALE: NTS



7 / W4.2 DECK SADDLE STEP 3 & 4 - PLYWOOD W/ TRAFFIC COATING ID: 91 SCALE: NTS



8 / W4.2 DECK EDGE AT WALKWAY ID: 1090 - REV SCALE: NTS



9 / W4.2 COLUMN TO DECK AT WALKWAYS - PLYWOOD TRAFFIC COATING ID: SCALE: NTS

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**PACIFIC VIEW
CONDOMINIUMS**
BUILDING ENVELOPE

Sheet Title:
**WEATHERIZATION
DETAILS - DECKS**

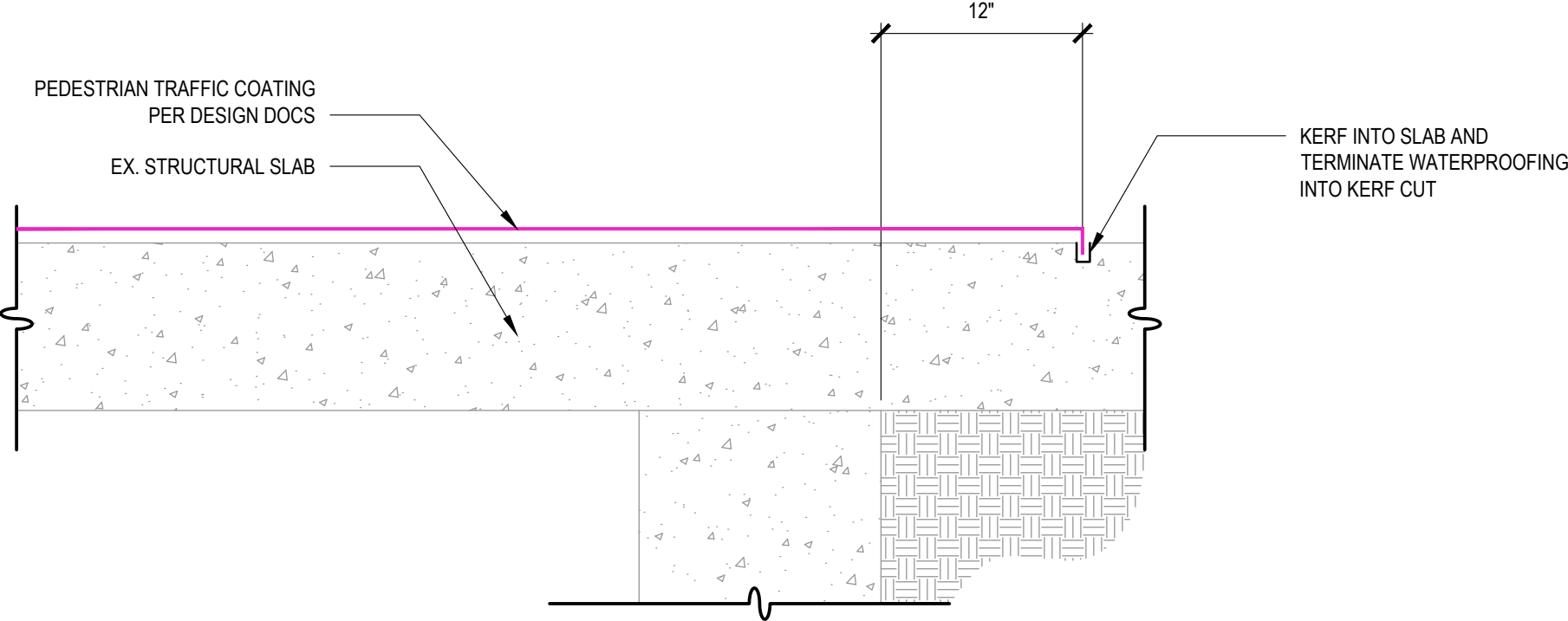
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Sheet Number:	W4.2

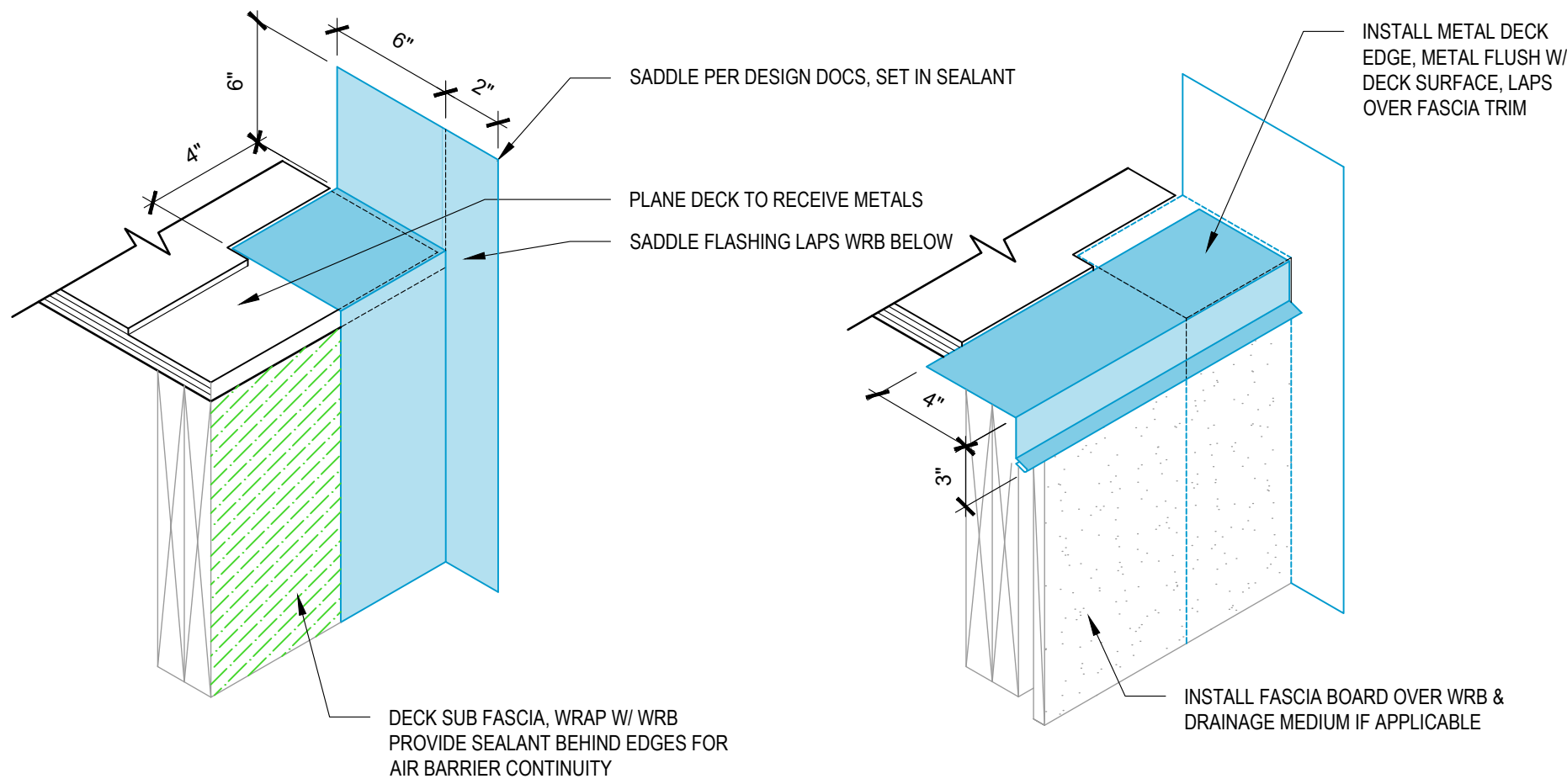


APPROXIMATE LOCATION
OF WATERPROOFING,
APPLICABLE TO NORTH
AND SOUTH STAIR



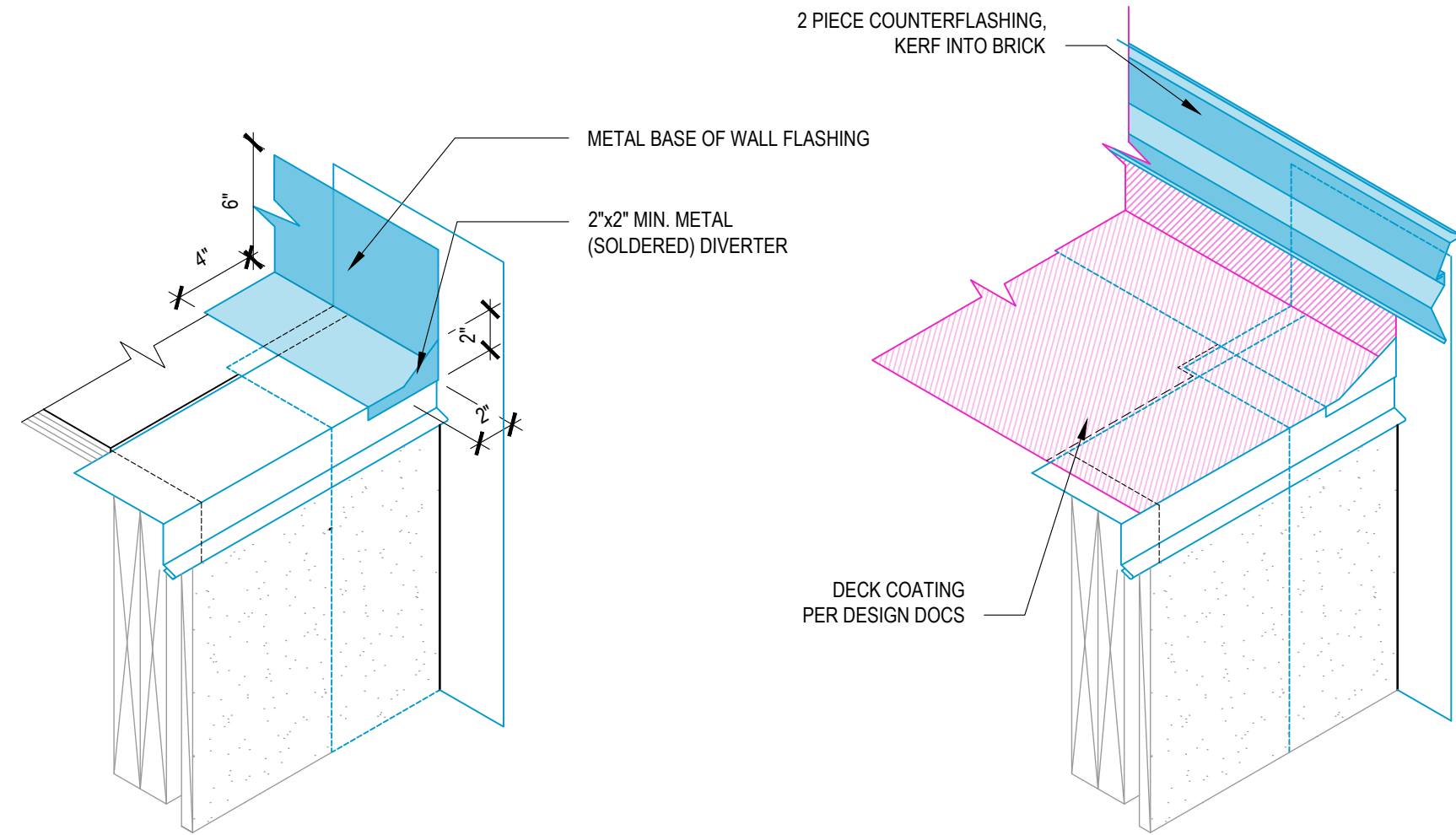
1 / W4.3 DECK TO WALL RETRO-FIT - PLYWOOD/TRAFFIC COATING/TYPICAL SIDING/EXTERIOR INSULATION

ID: 550
SCALE: NTS



STEP 1

STEP 2



STEP 3

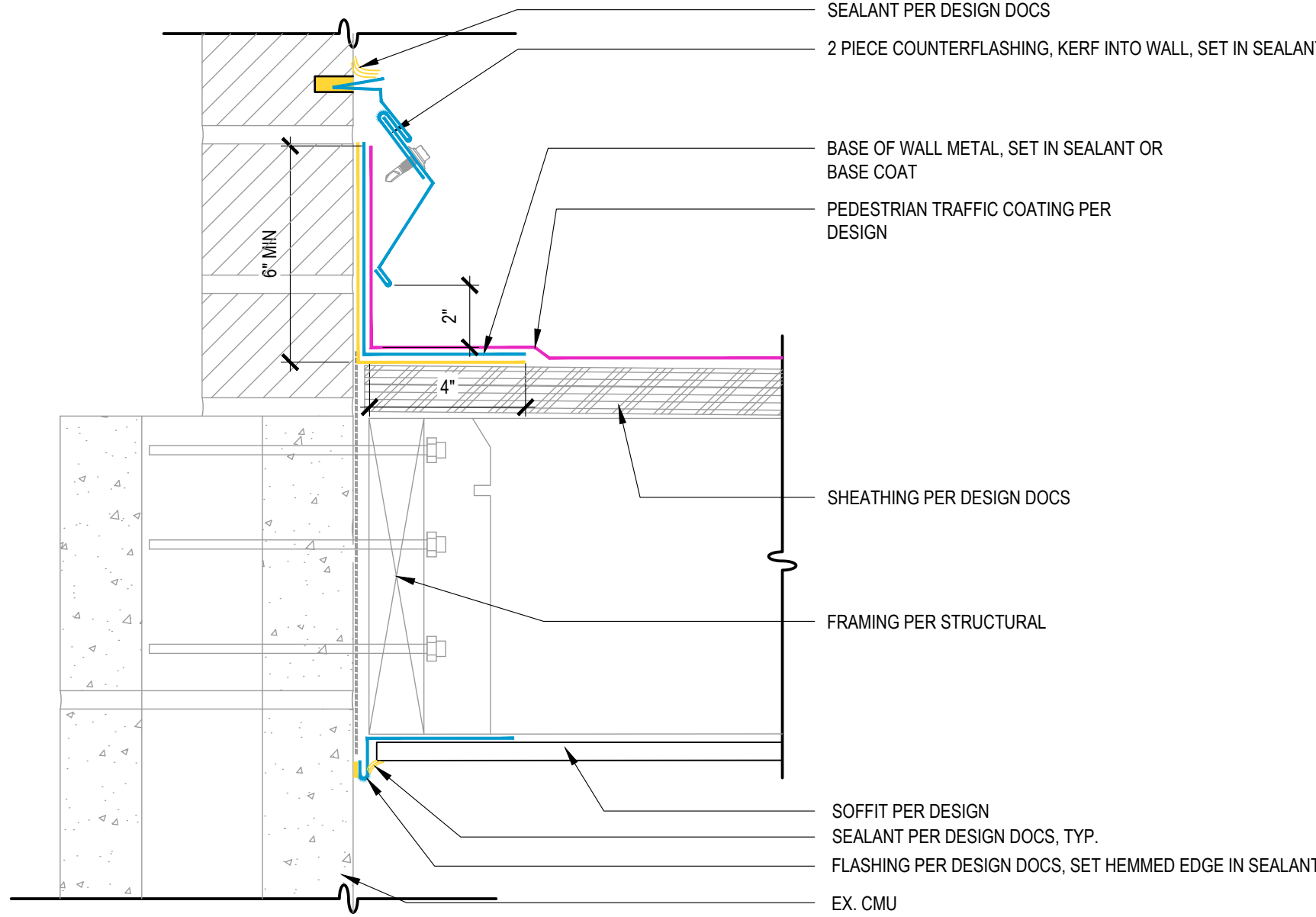
STEP 4

2 / W4.3 DECK TO WALL AT BRICK - DECK SADDLE STEP 1 & 2 - PLYWOOD W/ TRAFFIC COATING

ID: 487
SCALE: NTS

3 / W4.3 DECK TO WALL - DECK SADDLE STEP 3 & 4 - PLYWOOD W/ TRAFFIC COATING

ID: 488
SCALE: NTS



4 / W4.3 DECK TO WALL - TRAFFIC COATING / EXISTING MASONRY

ID:
SCALE: NTS

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DETAILS - DECKS**

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